

### LEGEND

| EXISTING | PROPOSED                    |
|----------|-----------------------------|
|          | SANITARY SEWER              |
|          | STORM SEWER                 |
|          | WATER MAIN                  |
|          | YARD DRAIN                  |
|          | STORM MANHOLE               |
|          | SANITARY MANHOLE            |
|          | CLEAN OUT                   |
|          | B.BOX                       |
|          | DOWNSPOUT                   |
|          | PAVEMENT                    |
|          | FENCE                       |
|          | DRAINAGE FLOW               |
|          | PAVEMENT ON GROUND          |
|          | ELEVATION                   |
|          | CONTOURS                    |
|          | TOP OF FOUNDATION ELEVATION |
|          | FIRST FLOOR ELEVATION       |
|          | GARAGE FLOOR ELEVATION      |
|          | EXISTING TREE               |
|          | TREE TO BE REMOVED          |
|          | 11" TREE                    |
|          | TREE PROTECTION FENCE       |
|          | SILT FENCE                  |
|          | TREE PROTECTION FENCE       |

#### SITE DEVELOPMENT PLAN CERTIFICATES

I, \_\_\_\_\_, owner of the property shown on this drawing in Riverwoods, Illinois, do hereby certify that I am familiar with the plan and certify that all work shall be done in accordance with the said plan.

Owner \_\_\_\_\_ Date \_\_\_\_\_

I, \_\_\_\_\_, P.E., have prepared this Site Development Plan and hereby attest to it's accuracy.

Design Engineer \_\_\_\_\_ Date \_\_\_\_\_

Approved By: \_\_\_\_\_

Village Engineer \_\_\_\_\_ Date \_\_\_\_\_

Approved By: \_\_\_\_\_

Village Ecologist \_\_\_\_\_ Date \_\_\_\_\_

#### Person in Charge Note

Person in Charge of Construction Operations:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Mobile (24-hour) telephone number: \_\_\_\_\_

The above individual shall be responsible for all construction operations on this site, including maintenance of protective fencing and erosion control measures, containment of construction debris, and scheduling of Village inspections. The Person in Charge shall ensure that all contractors and subcontractors working on this project are supplied with copies of the approved plans as necessary. The Person in Charge shall be the sole point of contact for all correspondence or direction from the Village.

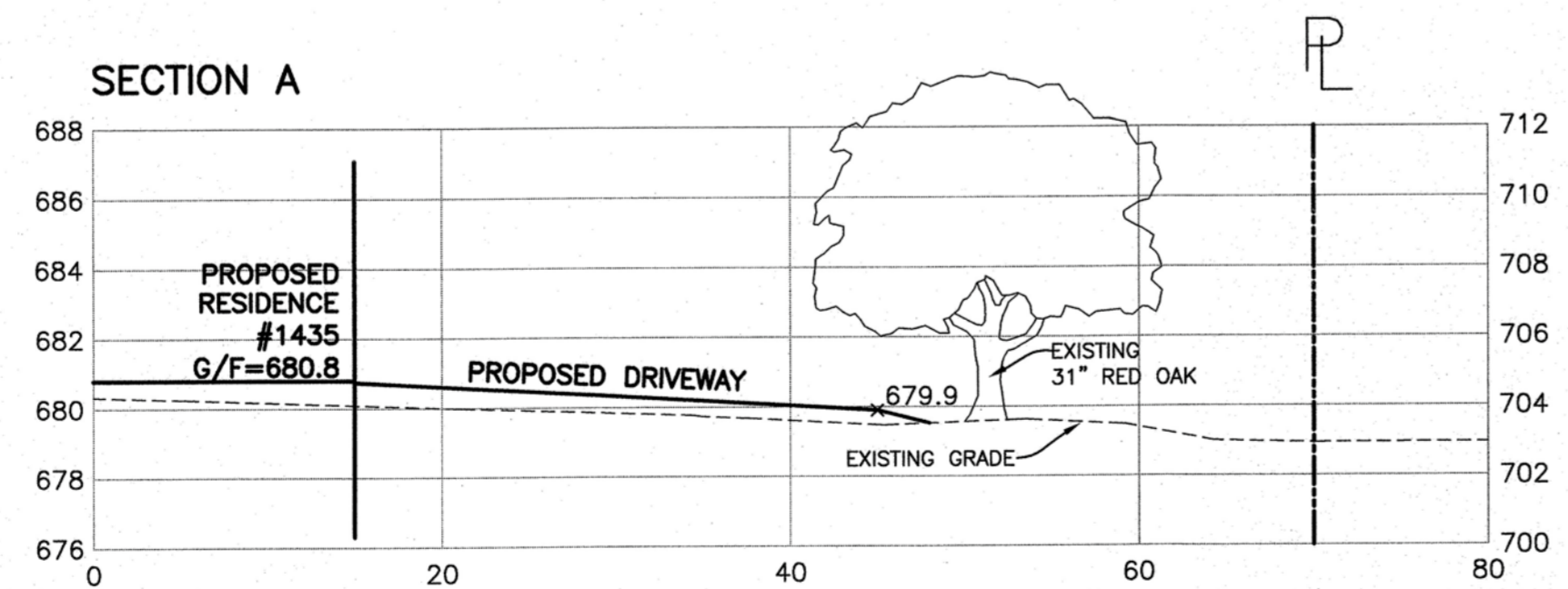
The Person In Charge shall have on the work at all times, as the Owner's agent, a competent English-speaking superintendent capable of reading and thoroughly understanding the Plans and Specifications and thoroughly experienced in the type of work being performed, who shall receive instructions from the Village Building Official or authorized representatives. The superintendent shall have full authority to execute orders or directions of the Village Building Official without delay, and to promptly supply such materials, equipment, tools, labor, and incidentals as may be required.

## SITE DEVELOPMENT PLAN



#### STANDARD SITE DEVELOPMENT PLAN NOTES

- No excavation, grading, tree removal, woodland removal, landscaping, or underground utility work (including drainage tiles or buried utility service lines) not shown on this plan shall be allowed.
- All proposed storm sewers, swales or other drainage improvements shall be constructed and in operation prior to vertical construction.
- All landscaping shall conform to the grades shown hereon and shall be limited to the area within the construction limits shown. Any work outside the construction limits, within the proposed woodland protection area, or requiring additional grading shall require submittal and Village approval of a separate Landscape Plan.
- Topography was prepared by \_\_\_\_\_. Certification of the accuracy of this topography is expressly made a part of the design engineer's certification of this site plan.
- All excess fill or spoil shall be removed from the site or stored in the location indicated on this plan. Fill or spoil shall not be placed within the proposed woodland protection area.
- In order to prevent Soil Erosion all areas disturbed during construction shall be seeded, sodded, or planted in some approved type of ground cover within thirty days after grading is completed (weather permitting).
- Sump Pumps shall discharge to a road ditch, swale, or storm sewer. Sump Pumps shall not discharge to an existing wetland.
- Driveway culverts shall be a 12" diameter (unless requested to be larger by the Village Engineer) of Reinforced Concrete Pipe with flared end sections and shall extend a minimum of four (4) feet past the edge of the driveway for each one (1) foot of depth below the finished surface on each side.
- Overhead sewer systems are required regardless of the sewer depth.
- Sanitary sewer service shall be PVC SDR 26 conforming to ASTM D2241 with joints conforming to ASTM D3139. The proposed sewer service may be connected to the existing sanitary sewer service if a current videotape is provided to the office of the Village Engineer for review and, in the sole opinion of the Village Engineer, the existing service is in sound condition. If the existing service is not sound, the new service must connect to the existing wye or tee at the man.
- If, after construction is completed, the drainage on this site proves to be inadequate or flows onto adjacent property from impervious areas, in the opinion of the Village Engineer, a swale or storm drain shall be constructed by the Owner to the nearest feasible drainage outlet.
- All vehicles, construction equipment, and material associated with this development shall only be parked, operated and stored on the subject property, outside of the limits of the proposed woodland protection area.
- One copy of the approved site development plan shall be on site throughout construction operations.
- Maximum vehicle weight limit on all streets in the Village is 6 tons per axle.



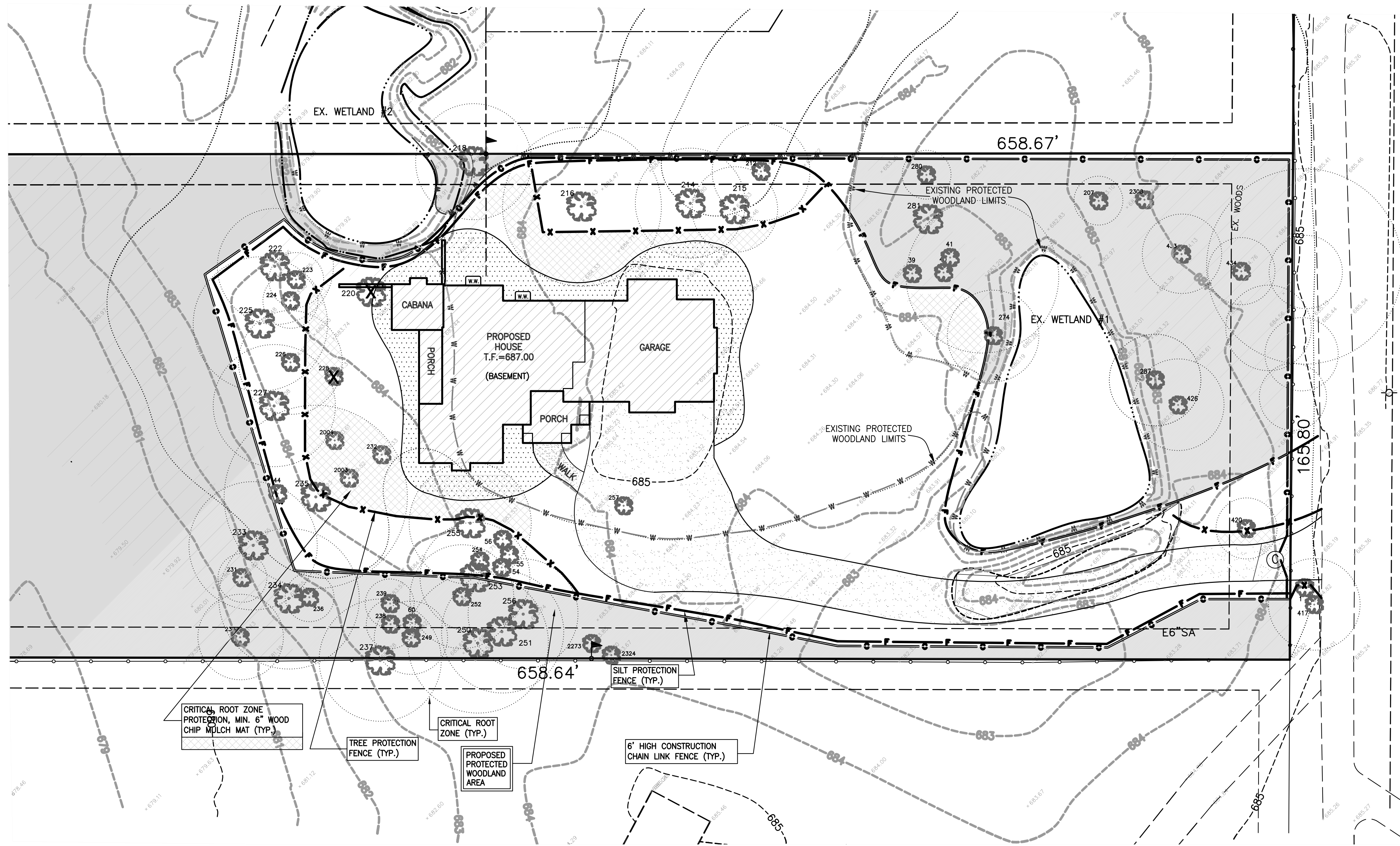
| IMPERVIOUS AREA CALCULATIONS |                |               |
|------------------------------|----------------|---------------|
|                              | EXISTING       | PROPOSED      |
| RESIDENCE                    | 2,694 SQ. FT.  | 3,662 SQ. FT. |
| WALK & PATIO                 | 926 SQ. FT.    | 1,160 SQ. FT. |
| DRIVEWAY                     | 1,804 SQ. FT.  | 3,765 SQ. FT. |
| TOTAL AREA                   | 5,424 SQ. FT.  | 8,587 SQ. FT. |
| TOTAL LOT AREA               | 37,069 SQ. FT. |               |

**THE CONTRACTOR MUST CALL J.U.L.I.E FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE, ETC.) AT 1-800-892-0123 48 HOURS PRIOR TO DIGGING.**

**NOTE:** EXISTING WATER, SANITARY SEWER AND STORM SEWER INFORMATION IS BASED ON RECORDS PROVIDED BY THE MUNICIPALITY. CONTRACTOR MUST VERIFY LOCATIONS, DEPTHS, MATERIALS AND POTENTIAL CONFLICTS PRIOR TO BIDDING AND CONSTRUCTING THE PROPOSED IMPROVEMENTS. SUCH VERIFICATION SHALL ALSO INCLUDE FACILITIES OWNED AND OPERATED BY VARIOUS UTILITY COMPANIES. ENGINEER MAKES NO REPRESENTATION AS TO THE ACCURACY OR EXISTENCE OF PLAN INFORMATION PROVIDED BY OTHERS.

**NOTE:** THE PROPOSED SEWER SERVICE MAY BE CONNECTED TO THE EXISTING SANITARY SEWER SERVICE IF A CURRENT VIDEOTAPE IS PROVIDED TO THE OFFICE OF THE VILLAGE ENGINEER FOR REVIEW AND, IN THE SOLE OPINION OF THE VILLAGE ENGINEER, THE EXISTING SERVICE IS IN SOUND CONDITION. IF THE EXISTING SERVICE IS NOT SOUND, THE NEW SERVICE MUST CONNECT TO THE EXISTING WYE OR TEE AT THE MAIN.

| Tree Survey Table |         |                 |   |        |                                    |
|-------------------|---------|-----------------|---|--------|------------------------------------|
| TAG #             | SIZE    | SPECIES         | CONDITION<br>1-6<br>(1=BEST -<br>6= DEAD) | REMOVE | % IMPACT<br>OF<br>CRITICAL<br>ROOT |
| 1                 | 6       | Walnut          | 3   |        |                                    |
| 39                | 3       | Swamp White Oak | 3   |        |                                    |
| 40                | 5       | Hickory         | 3   |        |                                    |
| 41                | 3       | American Elm    | 3   |        |                                    |
| 44                | 2       | American Elm    | 3   |        |                                    |
| 54                | 3       | American Elm    | 3   |        |                                    |
| 55                | 2       | American Elm    | 3   |        |                                    |
| 56                | 2       | American Elm    | 3   |        |                                    |
| 60                | 4       | Red Oak         | 3   |        |                                    |
| 212               | 16      | Red Oak         | 4   |        |                                    |
| 214               | 18      | Red Oak         | 4   |        | 20                                 |
| 215               | 14 / 12 | Red Oak         | 4   |        | 20                                 |
| 216               | 26      | White Oak       | 3   |        | 35                                 |
| 218               | 19      | Swamp White Oak | 4   |        |                                    |
| 220               | 20      | Swamp White Oak | 4   | X      |                                    |
| 222               | 19      | Red Oak         | 4   |        | 5                                  |
| 223               | 9       | White Oak       | 4   |        | 5                                  |
| 224               | 9       | White Oak       | 4   |        | 5                                  |
| 225               | 22      | White Oak       | 4   |        | 10                                 |
| 226               | 17 / 8  | White Oak       | 4   |        | 25                                 |
| 227               | 20      | Black Cherry    | 4   |        | 20                                 |
| 228               | 17      | White Oak       | 4   | X      |                                    |
| 230               | 14-Dec  | Red Oak         | 4   |        |                                    |
| 231               | 8       | Bur Oak         | 3   |        |                                    |
| 232               | 13      | White Oak       | 4   |        |                                    |
| 233               | 21      | White Oak       | 4   |        |                                    |
| 234               | 23      | White Oak       | 4   |        |                                    |
| 235               | 30      | White Oak       | 4   |        | 30                                 |
| 236               | 8       | Black Cherry    | 4   |        |                                    |
| 237               | 20      | White Oak       | 4   |        |                                    |
| 238               | 8       | American Elm    | 4   |        |                                    |
| 239               | 8       | American Elm    | 4   |        |                                    |
| 249               | 12      | White Oak       | 4   |        |                                    |
| 250               | 23      | White Oak       | 4   |        |                                    |
| 251               | 20      | White Oak       | 4   |        |                                    |
| 252               | 17      | White Oak       | 4   |        |                                    |
| 253               | 18      | White Oak       | 4   |        |                                    |
| 254               | 13      | White Oak       | 4   |        |                                    |
| 255               | 20      | White Oak       | 5   |        | 40                                 |
| 256               | 18      | Red Oak         | 4   |        |                                    |
| 257               | 12      | White Oak       | 4   | X      |                                    |
| 262               | 8       | Cotton Wood     | 4   |        |                                    |
| 274               | 15      | Cotton Wood     | 4   |        | 40                                 |
| 276               | 25      | Swamp White Oak | 4   |        |                                    |
| 280               | 8       | Swamp White Oak | 4   |        |                                    |
| 281               | 14 / 15 | Swamp White Oak | 4   |        |                                    |
| 287               | 15      | Swamp White Oak | 4   |        |                                    |
| 300               | 23      | Bur Oak         | 5   |        |                                    |
| 417               | 15      | Bur Oak         | 4   |        |                                    |
| 426               | 15      | Bur Oak         | 4   |        |                                    |
| 427               | 11      | Red Oak         | 4   |        |                                    |
| 433               | 13      | White Oak       | 4   |        |                                    |
| 434               | 11      | White Oak       | 4   |        |                                    |



**TREE AND WOODLAND PROTECTION NOTES**

- EXISTING PROTECTED WOODLAND AND TREES WHICH ARE TO REMAIN IN PLACE SHALL BE PROTECTED AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING AND BRUISING OF BARK, SMOTHERING BY STOCKPILING OF CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS, EXCESS FOOT OR VEHICULAR TRAFFIC OR PARKING OF VEHICLES WITHIN THE WOODLAND PROTECTION AREA.
- THE WOODLAND PROTECTION SHALL BE FENCED DURING CONSTRUCTION AND LANDSCAPE IMPLEMENTATION. THE CRITICAL ROOT ZONE OF ALL PROTECTED TREES & SHRUBS EXTENDING BEYOND THE WOODLAND PROTECTION AREA INTO THE CONSTRUCTION AREA SHALL BE PROTECTED WITH A FENCE, A MINIMUM OF 6 INCHES OF MULCH, OR OTHER PROTECTIVE MEASURE AS APPROVED BY THE VILLAGE.
- PROTECTION SHALL BE PROVIDED FOR ROOTS OVER 1-1/2" IN DIAMETER WHICH ARE CUT DURING CONSTRUCTION OPERATIONS. WHENEVER SUCH A ROOT IS CUT, THE CUT FACES SHALL BE COATED WITH AN EMULSIFIED ASPHALT OR OTHER ACCEPTABLE COATING SPECIALLY FORMULATED FOR HORTICULTURAL USE ON DAMAGED OR CUT PLANT TISSUES. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH WET BURLAP TO PREVENT THE ROOTS FROM DRYING OUT. EXPOSED ROOTS SHALL BE PROVIDED WITH EARTH COVER AS SOON AS POSSIBLE.
- PROTECTED WOODLAND OR TREES THAT ARE DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED IN A MANNER ACCEPTABLE TO THE VILLAGE. DAMAGED TREES SHALL BE REPAIRED BY A QUALIFIED TREE SURGEON. DAMAGED TREES WHICH CANNOT BE REPAIRED AND RESTORED TO FULL GROWTH STATUS, AS DETERMINED BY THE TREE SURGEON, SHALL BE REPLACED.
- NO CONSTRUCTION EQUIPMENT SHALL BE OPERATED OR CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL STORED OUTSIDE THE PROTECTIVE FENCING OR IN AREAS OF PROTECTED WOODLAND.
- REMOVAL OF DEAD, DISEASED, AND/OR INVASIVE SPECIES OF TREES AND SHRUBS WITHIN THE WOODLAND PROTECTION AREA SHALL BE DONE BY HAND AS NOT TO DISTURB THE PROTECTED TREES/SHRUBS AND GROUND/HERBACEOUS LAYER. STUMPS SHALL BE CUT TO WITHIN 2 INCHES OF THE SOIL SURFACE OR GROUND OUT. CUT MATERIALS SHALL BE EITHER DISPOSED OF OFF-SITE, BURNED IN PILES AS APPROVED BY THE VILLAGE, AND/OR MULCHED (OUTSIDE THE WOODLAND PROTECTION AREA). THE MAIN TRUNK OF LARGER TREES CAN BE LEFT WITHIN THE WOODLAND PROTECTION AREA AS LAYDOWNS TO SIMULATE NATURAL DECAY PROCESS.

**LANDSCAPE/WOODLAND PROTECTION PLAN CERTIFICATE**

I, \_\_\_\_\_, OWNER OF THE PROPERTY SHOWN ON THIS DRAWING IN RIVERWOODS, ILLINOIS, DO HEREBY CERTIFY THAT I HAVE REVIEWED THIS PLAN AND UNDERSTAND THAT (A) THE PLAN DOES NOT AUTHORIZE WORK TO BE PERFORMED IN THE AREA MARKED AS "PROTECTED WOODLAND" AND (B) IT IS A VIOLATION OF CHAPTER 6 OF TITLE 9 OF THE RIVERWOODS VILLAGE CODE TO REMOVE PROTECTED CANOPY TREES, SUBCANOPY/UNDERSTORY TREES & SHRUBS, AND GROUND LAYER VEGETATION FROM PROTECTED WOODLAND AREAS. TRADITIONAL TURF GRASS LAWNS, MULCH AND OTHER FORMAL LANDSCAPING ARE NOT ALLOWED IN THESE AREAS. VIOLATIONS ARE SUBJECT TO A FINE UP TO \$1,000 PER TREE PER DAY UNTIL THE VIOLATION IS REMEDIED.

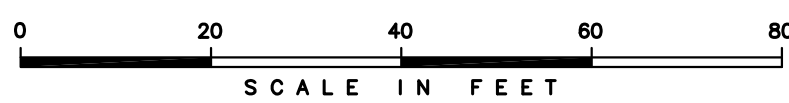
I UNDERSTAND THAT TO REDUCE DAMAGE TO EXISTING VEGETATION ON THE SITE, THE LANDSCAPE/WOODLAND AND TREE PROTECTION NOTES ON THIS PLAN MUST BE OBSERVED. SINCE THE AREA NOT FALLING WITHIN PROTECTED WOODLAND MAY BE DISTURBED DURING CONSTRUCTION, A DETAILED LANDSCAPE PLAN SHOWING RESTORATION OF ACCEPTABLE GROUND COVER MUST BE SUBMITTED FOR VILLAGE REVIEW A MINIMUM OF 30 DAYS PRIOR TO REQUESTING OCCUPANCY OF THE RESIDENCE.

THE PROPERTY MAY BE ELIGIBLE FOR PARTICIPATION IN COST-SHARE PROGRAMS THE VILLAGE HAS ADOPTED TO ENCOURAGE ENHANCEMENT OF PROTECTED WOODLANDS.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_  
 PRINTED NAME \_\_\_\_\_

| LOT COVERAGE TABLE          | EXISTING<br>(SQUARE FEET) | PROPOSED<br>(SQUARE FEET) |
|-----------------------------|---------------------------|---------------------------|
| GROSS LOT AREA              | 100,000                   | 100,000                   |
| ROAD EASEMENT AREA          | N/A                       | N/A                       |
| ROADWAY                     | N/A                       | N/A                       |
| BUILDINGS                   | N/A                       | 5,000                     |
| OTHER COVERAGE              | 5,000                     | 6,000                     |
| TOTAL COVERAGE              | 5,000                     | 11,000                    |
| % OF GROSS LOT AREA         | 5.00%                     | 11.0%                     |
| EXISTING PROTECTED WOODLAND | 95,000                    | N/A                       |
| PROPOSED PROTECTED WOODLAND | N/A                       | 89,000                    |
| % IMPACTED                  | -                         | 6.0%                      |
| % IMPACT ALLOWED            | -                         | 20%                       |

| EXISTING                    |                             | LEGEND |                             | PROPOSED   |                             |
|-----------------------------|-----------------------------|--------|-----------------------------|------------|-----------------------------|
| -104-                       | CONTOUR                     | (102)  | CONTOUR                     | (104.00)   | CONTOUR                     |
| x 105.08                    | SPOT ELEVATION              | (102)  | DECIDUOUS TREE W/DIA.       | x (104.00) | CONIFEROUS TREE W/DIA.      |
| 10"                         | DECIDUOUS TREE W/DIA.       | 8"SA   | SANITARY SEWER              | 12"ST      | WATER MAIN                  |
| 12"                         | CONIFEROUS TREE W/DIA.      | 6"SA   | STORM SEWER                 | 6"SA       | EXISTING PROTECTED WOODLAND |
| E8"SA                       | EXISTING PROTECTED WOODLAND | 12"ST  | WATER MAIN                  | 6"SA       | PROPOSED PROTECTED WOODLAND |
| E12"ST                      | PROPOSED PROTECTED WOODLAND | 6"SA   | EXISTING PROTECTED WOODLAND | 12"ST      | PROPOSED PROTECTED WOODLAND |
| E6"SA                       | PROPOSED PROTECTED WOODLAND | 12"ST  | PROPOSED PROTECTED WOODLAND | 6"SA       | PROPOSED PROTECTED WOODLAND |
| W                           | PROPOSED PROTECTED WOODLAND | 6"SA   | PROPOSED PROTECTED WOODLAND | 12"ST      | PROPOSED PROTECTED WOODLAND |
| SWALE                       | PROPOSED PROTECTED WOODLAND | 12"ST  | PROPOSED PROTECTED WOODLAND | 6"SA       | PROPOSED PROTECTED WOODLAND |
| DIRECTION SURFACE DRAINAGE  | PROPOSED PROTECTED WOODLAND | 6"SA   | PROPOSED PROTECTED WOODLAND | 12"ST      | PROPOSED PROTECTED WOODLAND |
| TREE PROTECTION FENCE       | PROPOSED PROTECTED WOODLAND | 12"ST  | PROPOSED PROTECTED WOODLAND | 6"SA       | PROPOSED PROTECTED WOODLAND |
| CHAINLINK FENCE             | PROPOSED PROTECTED WOODLAND | 6"SA   | PROPOSED PROTECTED WOODLAND | 12"ST      | PROPOSED PROTECTED WOODLAND |
| SILT PROTECTION FENCE       | PROPOSED PROTECTED WOODLAND | 12"ST  | PROPOSED PROTECTED WOODLAND | 6"SA       | PROPOSED PROTECTED WOODLAND |
| PROPOSED FORMAL LANDSCAPING | PROPOSED PROTECTED WOODLAND | 6"SA   | PROPOSED PROTECTED WOODLAND | 12"ST      | PROPOSED PROTECTED WOODLAND |
| WETLAND                     | PROPOSED PROTECTED WOODLAND | 12"ST  | PROPOSED PROTECTED WOODLAND | 6"SA       | PROPOSED PROTECTED WOODLAND |



DESIGNED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

SCALE: 1"=20'  
 DRAWING No. 59235  
 SHEET 1 OF 1

**WOODLAND/TREE PROTECTION & LANDSCAPING PLAN**

DRAWN BY: \_\_\_\_\_ DATE: \_\_\_\_\_ REVISIONS \_\_\_\_\_ DRAWN BY: \_\_\_\_\_ DATE: \_\_\_\_\_ REVISIONS \_\_\_\_\_