



090523 BOT

FINAL

PACKET





ESTD 1959

BOARD OF TRUSTEES

Final Agenda

300 PORTWINE ROAD

RIVERWOODS, IL 60015

September 5, 2023

riverwoods.gov/streamBOT

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF MINUTES
 - a. Board of Trustees August 15, 2023
5. TREASURER AND FINANCE REPORT
 - a. Approval of Bills
6. DIRECTOR OF COMMUNITY SERVICES REPORT
 - a. Brunch Factory Request for Consideration of Gaming License and Zoning Amendment
7. CONSULTANTS' REPORTS
 - a. ATTORNEY'S REPORT
 - b. ENGINEER'S REPORT
 - c. ECOLOGIST'S REPORT
8. PLAN COMMISSION REPORT
9. ZONING BOARD OF APPEALS REPORT
10. POLICE REPORT
11. FIRE DISTRICT REPORT

12. INFORMATION ITEMS & COMMENTS FROM THE PRESIDENT
 - a. Resident and Staff Communications
 - b. Approval of the Appointment of Vivian Hofeld as Deputy Clerk

13. NEW BUSINESS
 - a. Approval of a Plat of Subdivision for 1400 Sanders Road

14. OLD BUSINESS

15. VISITORS WISHING TO ADDRESS THE BOARD

16. COMMITTEE REPORTS
 - a. Finance/Economic Development Trustee Clayton
 - b. Communications Trustee Dikin
 - c. Woodlands/Ecology/Legal Trustee Eastmond
 - d. Land Use and Roads Trustee Hollander
 - e. Building and Utilities/Storm Water Trustee Jamerson
 - i. Building/Construction Permits
 - ii. Report of the Stormwater Management Committee
 - f. Community Services Trustee Smith
17. EXECUTIVE SESSION
 - a. Litigation, Acquisition, Property, and Personnel
18. ESTABLISH TIME AND DATE FOR NEXT MEETING
 - a. September 19, 2023 - 7:30 PM
19. ADJOURNMENT

MINUTES

Village of Riverwoods
Board of Trustees Meeting
August 15, 2023

Draft

Present:

Kris Ford, Mayor
Michael Clayton
Liliya Dikin
Andrew Eastmond
Henry Hollander
Rick Jamerson
Jeff Smith

Also Present:

Bruce Huvard, Village Attorney
Bruce Dayno, Police Chief
Carissa Smith, Village Engineer
Russ Kraly, Director of Community Services
Katie Bowne, Village Clerk
Bill Balling, Interim Finance Director

The meeting was called to order at 7:30 pm.

Michael Johnson was sworn in as a full-time officer and welcomed by the Mayor and Board of Trustees.

Document Approval

Trustee Jamerson moved to approve the minutes of the August 1, 2023 meeting. Trustee Clayton seconded the motion. The motion passed on a voice vote with Trustee Jamerson abstaining.

Approval of Bills

Trustee Jamerson moved to approve the bills. Trustee Clayton seconded the motion. The motion passed by the following vote:

AYES: Clayton, Dikin, Eastmond, Hollander, Jamerson, Smith (6)

NAYS: None (0)

Treasurer and Finance Committee Report

Trustee Clayton reported on second quarter revenues and expenditures.

Director of Community Services Report

Mr. Kraly reviewed the construction plans for Baby Vegas and noted they should be open in 6-8 weeks. The Brunch Factory would like to have gaming in the back of their restaurant. Dimitris Bouhoutsos, The Brunch Factory owner, has indicated he intends to present a gaming proposal to the Board.

Village Attorney's Report

Mr. Huvad has an upcoming meeting with representatives of the Lake County Division of Transportation to discuss the required Village expenditure with regard to the widening of Deerfield Rd. The County is also looking to obtain some Village owned strips of land for the project.

Engineer's Report

Ms. Smith said Chicagoland Paving will begin the road program after Labor Day. Play area construction has been delayed until September. The Flatwoods Heritage Center handicap parking spaces have been restriped. Trustee Jamerson requested the overnight parking sign at Portwine and Lake Cook be replaced because it is faded and barely readable.

Ecologist's Report

No report.

Plan Commission Report

Ch. Breitkopf reported the Plan Commission met on Thursday, 8/3/23. The Plan Commission recommended approval of the 1400 Saunders Rd. subdivision by a vote of 4-2. Possible land uses for the Wolters Kluwer site were also discussed. The next meeting will be on September 7.

ZBA Report

No report.

Police Report

Police activity is in the packet. Chief Dayno reported on a recent burglary at the Mobil Station. The suspect has been identified and there is a warrant out for his arrest. Chief Dayno also spoke about 9-1-1 calls and Next Generation technology. Our Deerfield dispatch center is currently using the same technology as Next Generation for cellular call identification but it is through a third party. They are scheduled to go live with Next Generation technology before the end of the year.

Fire Protection Report

No report.

Information Items from the President

President Ford attended the 8/14/23 South Lake Mosquito Abatement (SLMAD) meeting held at the Deerfield Village Hall. The next meeting will be on 9/11/23 and Trustee Eastmond is scheduled to attend. The IML conference is coming up on September 21-23.

New Business

- a. Approval of an Ordinance Amending the Riverwoods Village Fee Schedule Concerning Water User Charges and Access to Fire Hydrants

Trustee Clayton gave some background on the reasons for the Ordinance amendment. As of 6/1/23, a 2.8% water rate increase was received from the Village of Northbrook. Additionally, more capital is needed to replace mains that are over 60 years old or are mandated for replacement. Investment in the water system infrastructure will also help reduce non-revenue water loss to the DNR's recommended level of 10% or lower.

Trustee Jamerson moved to waive first reading. Trustee Hollander seconded the motion. Motion to waive first reading passed unanimously on a voice vote.

Trustee Jamerson moved to approve Ordinance 23-08-13-Amending the Riverwoods Village Fee Schedule Concerning Water User Charges and Access to Fire Hydrants. Trustee Clayton seconded the motion.

The motion passed by the following vote:

AYES: Clayton, Dikin, Eastmond, Hollander, Jamerson, Smith (6)

NAYS: None (0)

b. Approval of an Ordinance Establishing a Finance Department

Trustee Clayton moved to waive first reading. Trustee Jamerson seconded the motion. The motion to waive first reading passed unanimously on a voice vote. Trustee Clayton moved to approve Ordinance 23-08-11- Establishing a Finance Department. Trustee Jamerson seconded the motion.

The motion passed by the following vote:

AYES: Clayton, Dikin, Eastmond, Hollander, Jamerson, Smith (6)

NAYS: None (0)

c. Approval of the Appointment of the Finance Director

Bill Balling recommended the approval of Anthony Vasquez as the Finance Director. Trustee Hollander moved to approve the appointment. Trustee Jamerson seconded the motion. The motion passed unanimously on a voice vote.

d. Approval of an Ordinance Adopting by Reference The Lake County Watershed Development Ordinance as Last Amended

Trustee Jamerson moved to waive first reading. Trustee Hollander seconded the motion. The motion to waive first reading passed unanimously on a voice vote. Trustee Jamerson moved to approve Ordinance 23-08-12 -Adopting by Reference The Lake County Watershed Development Ordinance as last Amended. Trustee Clayton seconded the motion. The motion passed by the following vote:

AYES: Clayton, Dikin, Eastmond, Hollander, Jamerson, Smith (6)

NAYS: None (0)

e. Approval of a Resolution Adopting the 2022 Lake County All-Natural Hazards Mitigation Plan

Trustee Hollander moved to approve Resolution 23-08-02-Adopting the 2022 Lake County All-Natural Hazards Mitigation Plan. Trustee Jamerson seconded the motion. The motion passed unanimously on a voice vote.

f. Approval of Release of Subdivision Bond in the amount of \$100,000 provided by Thorntons. Mr. Huvard requested that action be deferred on this item.

Old Business

- a. Approval of a Proposal from Pinestone Lawn and Snow for Landscape Improvement for the Play Area in the amount of \$19,700

Mayor Ford walked the tree removal and pruning area with Village Engineer Carissa Smith and Village Forester Kirsten Stewart. Only 5 dead trees need to be removed. Mayor Ford requested approval of a removal and pruning budget not to exceed \$10,000. Trustee Jamerson moved to approve a tree removal and pruning budget not to exceed \$10,000. Trustee Hollander seconded the motion.

The motion passed by the following vote:

AYES: Clayton, Dikin, Eastmond, Hollander, Jamerson, Smith (6)

NAYS: None (0)

Visitors wishing to address the Board

There were no visitors wishing to address the Board.

Adjournment

There being no further business to discuss, Trustee Jamerson moved to adjourn the meeting. Trustee Clayton seconded the motion. The motion passed unanimously on a voice vote.

The meeting was adjourned at 8:44 pm. The next regular meeting of the Board of Trustees will take place on at September 5, 2023 at 7:30 pm.

Respectfully submitted,

Katie Bowne
Village Clerk

Attachments:

Water Rate Information, Second Quarter Financial Statements, Police Activity

REVENUE AND EXPENDITURE REPORT FOR VILLAGE OF RIVERWOODS
As of 06/30/2023

	Month Activity			YTD Activity		Annual Budget 2023	% Bdg Used
	06/30/2022	06/30/2021	Budget 6/30/2023	06/30/2022	06/30/2023		
Fund: 001 GENERAL							
Account Category: Revenues							
Total Dept 101 - ADMINISTRATION	173,236	201,858	213,396	1,230,484	1,422,304	2,560,750	55.54
Total Dept 102 - BUILDING DEPARTMENT	14,114	32,575	23,542	154,581	159,373	282,500	56.42
Total Dept 104 - ROAD & BRIDGE & STORM WATER	9,628	10,413	2,000	12,950	11,731	24,000	48.88
Total Dept 106 - WOODLAND MANAGEMENT	475	940	917	3,430	3,699	11,000	33.62
Total Dept 110 - POLICE	411,382	319,149	110,163	6,247,671	6,675,509	13,219,521	50.49
Revenues	608,835	764,945	350,017	2,076,212	2,764,516	4,700,202	53.91
Account Category: Expenditures							
Total Dept 101 - ADMINISTRATION	78,818	116,223	104,176	563,767	676,356	1,251,314	54.05
Total Dept 102 - BUILDING DEPARTMENT	41,830	29,793	38,685	158,282	163,551	464,223	35.23
Total Dept 104 - ROAD & BRIDGE & STORM WATER	10,993	2,304	7,088	79,632	15,449	85,000	18.18
Total Dept 105 - DRAINAGE	-	-	398	-	-	2,500	0.00
Total Dept 106 - WOODLAND MANAGEMENT	18,049	9,207	8,396	56,872	30,368	79,150	38.37
Total Dept 110 - POLICE	189,288	167,789	211,849	1,065,573	1,036,554	2,446,165	42.36
Expenditures	348,988	347,806	360,096	1,924,127	1,921,878	4,328,352	44.40
OPERATING NET INCOME (REVENUE)	260,747	428,139	(10,679)	152,086	342,638	(128,150)	
TRANSFERS	-	-	166,667	3,000,000	-	2,000,000	
NET OF REVENUES & EXPENDITURES	260,747	428,139	(10,679)	152,086	342,638	(128,150)	
Fund: 104 MFT							
Revenues	12,366	13,712	16,992	111,958	78,027	103,901	38.27
Expenditures	-	-	13,667	113,578	62,242	140,000	44.46
NET OF REVENUES & EXPENDITURES	12,366	13,712	3,325	(1,620)	15,785	63,901	
Fund: 501 CONSOLIDATED WATER FUND							
Account Category: Revenues							
Revenues	91,928	140,887	94,292	455,431	365,156	1,131,500	32.27
Expenditures	33,466	139,314	174,957	437,464	707,789	2,099,480	33.71
NET OF REVENUES & EXPENDITURES	58,462	1,573	(80,665)	17,967	(342,633)	(967,980)	
Fund: 502 SEWER FUND							
Revenues	32,840	34,295	38,979	260,857	261,490	467,750	55.90
Expenditures	47,071	48,033	43,480	139,124	92,782	521,765	17.78
NET OF REVENUES & EXPENDITURES	(14,231)	(13,738)	(4,501)	121,733	168,708	(54,015)	
Fund: 805 CAPITAL PROJECT FUND							
Revenues	-	-	-	3,000,000	-	-	
Expenditures	-	150,125	83,417	3,000,000	265,979	1,001,000	26.57
NET OF REVENUES & EXPENDITURES	-	(150,125)	(83,417)	(265,979)	(265,979)	(1,001,000)	

MINUTES

ACCOUNT BALANCE HISTORY REPORT FOR VILLAGE OF RIVERWOODS

GL #	Description		BALANCE AS OF 06/30/2023		BALANCE AS OF 06/30/2022
Fund: 001 GENERAL		\$	5,094,428.21	\$	3,866,321.00
Fund: 104 MFT		\$	988,278.17	\$	913,845.11
Fund: 501 CONSOLIDATED WATER FUND		\$	1,724,699.48	\$	2,157,707.41
Fund: 502 SEWER FUND		\$	2,415,751.97	\$	2,027,467.03
Fund: 503 MILWAUKEE/DEERFIELD TIF		\$	167,865.34	\$	1,423,386.80
Fund: 504 TIF # 2 - FEDERAL LIFE		\$	(129,753.45)	\$	(12,426.45)
Fund: 505 CAPITAL PROJECT FUND		\$	4,463,592.01	\$	4,386,371.03
		\$	14,724,861.73	\$	14,762,671.93

MINUTES

REVENUE AND EXPENDITURE REPORT FOR VILLAGE OF RIVERWOODS
Balance As Of 06/30/2023

GL Number	Description	2023 Amended Budget	YTD Balance 06/30/2023	Activity For 06/30/2023	Available Balance 06/30/2023	% Bdgt Used
Fund: 505 CAPITAL PROJECT FUND						
Account Category: Expenditures						
Department: 000						
505-000-50320	ENGINEER EXPENSE	1,000.00	0.00	0.00	1,000.00	0.00
505-000-80300	ROAD PROGRAM	0.00	330.00	0.00	(330.00)	100.00
505-000-90520	CONTINGENCY	1,000,000.00	265,648.50	150,124.50	734,351.50	26.56
Total Dept 000		1,001,000.00	265,978.50	150,124.50	735,021.50	26.57
Expenditures		1,001,000.00	265,978.50	150,124.50	735,021.50	26.57
Fund 505 - CAPITAL PROJECT FUND:						
TOTAL REVENUES		0.00	0.00	0.00	0.00	
TOTAL EXPENDITURES		1,001,000.00	265,978.50	150,124.50	735,021.50	
NET OF REVENUES & EXPENDITURES:		(1,001,000.00)	(265,978.50)	(150,124.50)	(735,021.50)	

MINUTES

REVENUE AND EXPENDITURE REPORT FOR VILLAGE OF RIVERWOODS

Balance As of 06/30/2023

GL Number	Description	2023 Amended Budget	YTD Balance 06/30/2023	Activity For 06/30/2023	Available Balance 06/30/2023	% Bdgt Used
Fund: 104 MFT						
Account Category: Revenues						
Department: 000						
104-000-30080	MOTOR FUEL TAX REVENUE	91,000.00	41,587.63	7,291.78	49,412.37	45.70
104-000-30085	TRANSPORTATION RENEWAL REVENUS	72,000.00	0.00	0.00	72,000.00	0.00
104-000-30090	MOTOR FUEL TAX REVENUE - REBUILD	40,201.00	36,147.27	6,396.17	4,053.73	89.92
104-000-30800	INTEREST REVENUE	700.00	292.21	23.84	407.79	41.74
Total Dept 000		203,901.00	78,027.11	13,711.79	125,873.89	38.27
Revenues		203,901.00	78,027.11	13,711.79	125,873.89	38.27
Account Category: Expenditures						
Department: 000						
104-000-50180	SNOW REMOVAL	140,000.00	62,242.00	0.00	77,758.00	44.46
Total Dept 000		140,000.00	62,242.00	0.00	77,758.00	44.46
Expenditures		140,000.00	62,242.00	0.00	77,758.00	44.46
Fund 104 - MFT:						
TOTAL REVENUES		203,901.00	78,027.11	13,711.79	125,873.89	
TOTAL EXPENDITURES		140,000.00	62,242.00	0.00	77,758.00	
NET OF REVENUES & EXPENDITURES:		63,901.00	15,785.11	13,711.79	48,115.89	

MINUTES

Municipal Water Rate Discussion

DRAFT

➤ Considerations:

- ❖ Northbrook rate increase of 2.8% effective 6/1/23
- ❖ Water Main Maintenance/Installation
 - Water main installation costs have increased 120%
 - Replacement of mains over 60 years old or asbestos mandated replacement
 - Consideration of main extension/expansion
- ❖ Investment needed to reduce non-revenue water loss
 - Currently above Illinois DNR standard (10%)
 - Helps the Water Fund since more revenue is collected for the same water use
- ❖ Future Planning
 - Consideration of a fire protection fee for residents with main access who haven't connected

➤ Status:

- ❖ 810 residential customers
- ❖ Water Fund started 2023 with a cash and investments balance of \$1,990,083 and has a balance of \$1,724,699 as of June 30th
- ❖ Current water rates are “middle of the pack” compared to others of our approximate size in the area

➤ Recommendation

- ❖ Increase residential water rate 10% effective October 1,2023

Illustrative Five Year Outlook

- Assumes a 10% rate increase effective 10/1/23
- Maintenance, operating, and capital estimates from GHA
- 2023 rehab and modernization capital includes Saunders Rd.
- Future rehab and modernization capital pegged at \$750,000 every two years
- 10% increase translates to approximately a \$106 per year increase for an average household

WATER FUND BALANCE					
Variable Investment	2023	2024	2025	2026	2027
<u>2024 10% rate increase</u>					
Starting balance	\$1,990,083	\$1,033,257	\$738,775	\$274,600	\$38,085
Revenues and Interest Allocation	\$1,159,787	\$1,220,454	\$1,220,454	\$1,220,454	\$1,220,454
Expenses	\$1,117,813	\$1,119,636	\$1,142,029	\$1,164,869	\$1,188,166
Income/Deficit	\$41,974	\$100,818	\$78,425	\$55,585	\$32,288
Rehab and Modernization	\$850,000	\$250,000	\$450,000	\$250,000	\$450,000
Reservoir Rehab and Capital	\$148,800	\$145,300	\$92,600	\$42,100	\$59,300
Ending balance	\$1,033,257	\$738,775	\$274,600	\$38,085	(\$438,927)

2027 ending balance for some other scenarios run:

- No change: (\$794,743)
- 2024 5% increase: (\$690,735)
- 2024 15% increase (\$192,595)
- 5% per year increase (\$534,723)

Background Information

- 901 metered customers
- Latest water use State report (10/20/21-9/20/22): 136,852,000 gallons
- New Northbrook rate \$5.54 per 1000 gallons up from \$5.29 adding \$34.2K annual cost
- Northbrook rate is their own resident retail rate less 10%
- Riverwoods current retail rate: \$8.97 per 1000 gallons which must cover operating costs and water system capital and maintenance costs
- Summer month usage is two to three times higher than other months
- Assumptions for average household increase on page 2:
 - 3.5 persons per home
 - 100 gallons per capita per day use
 - Turf area 5,000 square feet
 - Zone irrigation, 8 stations, 15 minutes per station, 8 days per month



Riverwoods Police Incident Analysis Report

Summary by Incident Type

8/15/2023

Activity Through August 10th of Each Year

Incident Type	2023 YTD	This Time 2022 YTD
46 (7503) (Mortorist Assist)	46	57
50 PD (7572) (Crash Property Damage)	58	45
50 PI (7571) (Crash Personal Injury)	14	9
50 Priv Prop (7573) (Crash Private Property)	5	3
911 Hang up (7911)	3	11
Ambulance (7021)	217	158
Animal Problem (7245)	28	26
AOA (7001)	108	168
Armed Robbery (0310)	-	-
Assault (0500)	1	1
Attempt Suicide (7221)	-	1
Battery - Simple (0460)	1	2
Battery (0400)	1	2
Burg - From Motor Veh (0760)	-	2
Burglar Alarm (7082)	170	136
Burglary - Residential (0625)	3	2
Burglary (0600)	2	1
Cell 911 (7912)	-	1
Child Seat Inspect (7042)	3	4
Construction Comp (7078)	1	-
Controlled Substance (2000)	-	-
Credit Card Fraud (1150)	1	2
Crim Damage to Prop (1310)	6	1
Crim Sexual Assault (1563)	-	-
Crim Trespass to Land (1330)	2	-
Crim Trespass to Veh (1360)	-	-
Death Investigation (7231)	1	2
Deceptive Practice (1110)	6	4
Domestic Battery (0486)	-	-
Domestic Trouble (7156)	14	11
DUI (2410)	28	34
Fingerprinting (7039)	7	3
Fire Alarm (0733)	31	22
Fire Call (7024)	30	16
Fireworks Complaints (3001)	5	6
Forgery (1120)	-	-
Found Animal (7246)	4	6
Found Prop. (7156)	3	1
Harassment by Telephone (2825)	1	1
Hold Up Alarm (7083)	15	8
Identity Theft (7198)	11	8
Lock out - Vehicle (7051)	10	11
Lost / Mislaid Prop (7144)	2	8
Missing Person (7178)	1	2
Noise Comp (7078)	17	21
Notification (7049)	9	10
Other Comp (7079)	49	43
Other Investigation (7199)	20	20

Incident Type	2023 YTD	This Time 2022 YTD
Other Trouble (7139)	5	3
Parking Complaint (7522)	10	6
Premise Exam (7041)	944	861
Public Service (7040)	43	28
Roadway Debris (7250)	18	10
Solicitor (7063)	12	2
Suicide (7211)	-	-
Suspicious Auto (7123)	35	40
Suspicious Person (7123)	21	22
Telephone Threat (2820)	-	-
Theft from Motor Veh (0710)	-	2
Theft of Motor Veh (0910)	2	-
Theft Over \$500 (0815)	3	-
Theft Under \$500 (0825)	2	3
Traffic Complaint (7521)	36	34
Turned in Weapon/Ammo (7160)	1	1
Village Ord. Violation (7500)	14	11
Well Being Check (7045)	39	25
Total:	2119	1337
Crime Prevention Notices	365	351
Case Reports	119	136
Traffic Stops	98	1241
Number of Citations issued	493	493
Number of Persons Issued Citations	253	46

18 houses are currently on the Vacation Watch list and are checked regularly.

BILLS



VILLAGE OF
RIVERWOODS
 ESTD 1959

September 01, 2023

TO: Kris Ford, Mayor
 Village Trustees
 Village Attorney Bruce Huvad

FROM: Moses Diaz

RE: Council Report for September 05, 2023

Attached are the Invoices for approval at the September 05, 2023 BOT Meeting:

Fund Number	Fund Name	Total	Comments
001	General Fund	90,904.92	
104	MFT	0.00	
119	SSA19	0.00	
123	SSA 23	0.00	
125	SSA 25	0.00	
126	SSA 26	0.00	
130	SSA 30	765.00	
424	SSA24 DSF	0.00	
430	SSA30 DSF	0.00	
501	Water Fund	20,145.48	
502	Sewer Fund	46,191.09	
503	TIF #1	0.00	
504	TIF #2	0.00	
505	CAPITAL PROJECT FUND	0.00	
702	Developer Deposits	0.00	
Total to be approved		158,006.49	

INVOICE REGISTER FOR VILLAGE OF RIVERWOODS

POST DATES 08/14/2023 - 09/01/2023

POSTED AND UNPOSTED

OPEN

Invoice Number

Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date
Vendor 0704 - AJ OLESON CONSTRUCTION							
230823WATERMAIN							
00015214	AJ OLESON CONSTRUCTION	08/23/2023		14,221.30	14,221.30	Open	N
	2022 DEERFIELD RD WATER MAIN EXT PROJECT	MDIAZ					08/29/2023
	501-000-80202	2022 DEERFIELD RD WATER MAIN EXT PROJECT		14,221.30			
Total Vendor 0704 - AJ OLESON CONSTRUCTION				<u>14,221.30</u>	<u>14,221.30</u>		
Vendor 0696 - AMERICAN BACKFLOW & FIRE PREVENTION							
15751							
00015195	AMERICAN BACKFLOW & FIRE PREVENTION	05/10/2023		256.75	256.75	Open	N
	ANNUAL BACKFLOW INSPECTION	MDIAZ					08/24/2023
	501-000-50360	ANNUAL BACKFLOW INSPECTION		256.75			
Total Vendor 0696 - AMERICAN BACKFLOW & FIRE PREVENTION				<u>256.75</u>	<u>256.75</u>		
Vendor MISC - ANTHONY VASQUEZ							
230826ANTHONYVA							
00015212	ANTHONY VASQUEZ	08/26/2023		1,447.85	1,447.85	Open	N
	NEW EMPLOYEE, LAPTOP - REIMBURSEMENT	MDIAZ					08/29/2023
	001-101-60540	NEW EMPLOYEE, LAPTOP - REIMBURSEMENT		1,447.85			
Total Vendor MISC - ANTHONY VASQUEZ				<u>1,447.85</u>	<u>1,447.85</u>		
Vendor 0497 - AXON ENTERPRISE, INC.							
INUS181352							
00015238	AXON ENTERPRISE, INC.	08/26/2023		123.80	123.80	Open	N
	TASER EQUIPMENT	MDIAZ					08/31/2023
	001-110-50070	POLICE OFFICERS EQUIP.		123.80			
Total Vendor 0497 - AXON ENTERPRISE, INC.				<u>123.80</u>	<u>123.80</u>		
Vendor 0634 - AZAVAR AUDIT							
157231							
00015228	AZAVAR AUDIT	08/31/2023		28.06	28.06	open	N
	MUNICIPAL UTILITY TAX AUDIT PROGRAM	MDIAZ					08/31/2023
	001-101-50360	MUNICIPAL UTILITY TAX AUDIT PROGRAM		28.06			
Total Vendor 0634 - AZAVAR AUDIT				<u>28.06</u>	<u>28.06</u>		

INVOICE REGISTER FOR VILLAGE OF RIVERWOODS

POST DATES 08/14/2023 - 09/01/2023

POSTED AND UNPOSTED
OPEN

Invoice Number

Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date
Vendor 0320 - B&F CONSTRUCTION CODE SERVICES							
17879 00015166	B&F CONSTRUCTION CODE SERVICES INSPECTIONS, JUNE 23 001-102-50345	08/01/2023 MDIAZ INSPECTIONS, JUNE 23		2,873.30 2,873.30	2,873.30	Open	N 08/14/2023
17967 00015167	B&F CONSTRUCTION CODE SERVICES INSPECTIONS, JULY 23 001-102-50345	08/11/2023 MDIAZ INSPECTIONS, JULY 23		2,093.33 2,093.33	2,093.33	Open	N 08/14/2023
Total Vendor 0320 - B&F CONSTRUCTION CODE SERVICES				<u>4,966.63</u>	<u>4,966.63</u>		
Vendor 0014 - BADGER METER INC							
80137337 00015232	BADGER METER INC WATER METER EXPENSE 501-000-51000	08/30/2023 MDIAZ WATER METERS EXPENSE		907.30 907.30	907.30	Open	N 08/31/2023
Total Vendor 0014 - BADGER METER INC				<u>907.30</u>	<u>907.30</u>		
Vendor 0751 - BAXTER & WOODMAN NATURAL RESOURCES LLC							
0249467 00015211	BAXTER & WOODMAN NATURAL RESOURCES FORESTER SERVICES, AUGUST 2023 001-102-50350	08/21/2023 MDIAZ FORESTER SERVICES, AUGUST 2023		3,840.00 3,840.00	3,840.00	Open	N 08/29/2023
Total Vendor 0751 - BAXTER & WOODMAN NATURAL RESOURCES LLC				<u>3,840.00</u>	<u>3,840.00</u>		
Vendor 0020 - CANON SOLUTIONS AMERICA INC							
617748 00015191	CANON SOLUTIONS AMERICA INC COPIER MAINTENANCE 001-110-60511	08/01/2023 MDIAZ COPIER MAINTENANCE		128.61 128.61	128.61	Open	N 08/21/2023
Total Vendor 0020 - CANON SOLUTIONS AMERICA INC				<u>128.61</u>	<u>128.61</u>		
Vendor 0024 - CENTRAL MANAGEMENT SERVICES LGHP							

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Vendor 0024 - CENTRAL MANAGEMENT SERVICES LGHP							
230830CMS 00015225	CENTRAL MANAGEMENT SERVICES LGHP	08/30/2023		14,204.00	14,204.00	Open	N 08/30/2023
	HEALTH INSURANCE - COVERAGE FOR SEPTEMBE MDIAZ						
	001-101-40100	HEALTH INSURANCE - COVERAGE FOR SEP 2023		1,364.00			
	001-110-40100	HEALTH INSURANCE - COVERAGE FOR SEP 2023		12,840.00			
Total Vendor 0024 - CENTRAL MANAGEMENT SERVICES LGHP				14,204.00	14,204.00		
Vendor 0718 - COMCAST BUSINESS							
230808COMCASTX1 00015171	COMCAST BUSINESS	08/08/2023		63.27	63.27	Open	N 08/15/2023
	PHONE, OFF-SITE LIFT STATION - 4 TIMBERW MDIAZ						
	502-000-50710	PHONE, OFF-SITE LIFT STATION - 4 TIMBERW		63.27			
180352820 00015179	COMCAST BUSINESS	08/15/2023		1,084.78	1,084.78	Open	N 08/16/2023
	POLICE & VILLAGE HALL TELEPHONE SERVICE MDIAZ						
	001-101-50520	POLICE & VILLAGE HALL TELEPHONE SERVICE		542.39			
	001-110-50520	POLICE & VILLAGE HALL TELEPHONE SERVICE		542.39			
230815COMCASTX7 00015201	COMCAST BUSINESS	08/15/2023		485.17	485.17	Open	N 08/25/2023
	VILLAGE CABLE, INTERNET, FAX MDIAZ						
	001-101-50710	VILLAGE CABLE, INTERNET, FAX		485.17			
230819COMCASTX1 00015209	COMCAST BUSINESS	08/19/2023		63.27	63.27	Open	N 08/28/2023
	PHONE, OFF-SITE LIFT STATION - 1805 TRIL MDIAZ						
	502-000-50710	PHONE, OFF-SITE LIFT STATION - 1805 TRIL		63.27			
230826COMCASTX1 00015233	COMCAST BUSINESS	08/26/2023		215.55	215.55	Open	N 08/31/2023
	INTERNET MDIAZ						
	502-000-50710	INTERNET		215.55			
230824COMCASTX1 00015234	COMCAST BUSINESS	08/24/2023		479.86	479.86	Open	N 08/31/2023
	INTERNET EXPENSE/CABLE /EMAIL MDIAZ						
	001-110-50520	INTERNET EXPENSE/CABLE /EMAIL		60.00			
	001-110-60545	INTERNET EXPENSE/CABLE/EMAIL		419.86			
Total Vendor 0718 - COMCAST BUSINESS				2,391.90	2,391.90		

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Vendor 0038 - COMED							
230817COMEDX011							
00015194	COMED	08/17/2023		28.50	28.50	Open	N
	UTILITY EXPENSE - ELECTRIC	MDIAZ					08/22/2023
	501-000-50710	UTILITY EXPENSE - ELECTRIC		28.50			
Total Vendor 0038 - COMED				28.50	28.50		
Vendor 0276 - DIGITAL CURRENCY SYSTEMS							
QB114134							
00015213	DIGITAL CURRENCY SYSTEMS	08/29/2023		202.38	202.38	Open	N
	LAPTOP SETUP FOR STEVE WITT + DUO TECH S MDIAZ						08/29/2023
	001-101-50365	LAPTOP SETUP FOR STEVE WITT+DUO TECH SW		202.38			
Total Vendor 0276 - DIGITAL CURRENCY SYSTEMS				202.38	202.38		
Vendor 0049 - ERNIE'S WRECKER SERVICE							
248056							
00015165	ERNIE'S WRECKER SERVICE	08/10/2023		491.12	491.12	Open	N
	2020 DODGE DURANGO #64 - WASHER FLUID RE MDIAZ						08/14/2023
	001-110-50010	2020 DODGE DURANGO #64 - WASHER FLUID RE		491.12			
248067							
00015172	ERNIE'S WRECKER SERVICE	08/15/2023		77.54	77.54	Open	N
	2015 CHEVROLET TAHOE - BLACK #62 - OIL C MDIAZ						08/15/2023
	001-110-50010	2015 CHEVROLET TAHOE - BLACK #62 - OIL C		77.54			
Total Vendor 0049 - ERNIE'S WRECKER SERVICE				568.66	568.66		
Vendor 0708 - FIELDS CHRYSLER JEEP DODGE RAM							
628115							
00015207	FIELDS CHRYSLER JEEP DODGE RAM	08/24/2023		953.00	953.00	Open	N
	2020 DODGE DURANGO, REPLACE FUEL PUMP MDIAZ						08/25/2023
	001-110-50010	AUTO - REPAIRS & MAINTENANCE		953.00			
Total Vendor 0708 - FIELDS CHRYSLER JEEP DODGE RAM				953.00	953.00		
Vendor 0056 - GARVEY'S OFFICE PRODUCTS							

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Vendor 0056 - GARVEY'S OFFICE PRODUCTS							
PINV2459938 00015178	GARVEY'S OFFICE PRODUCTS OFFICE SUPPLIES 001-101-60510	08/16/2023 MDIAZ OFFICE SUPPLIES		60.82	60.82	Open	N 08/16/2023
PINV2460614 00015187	GARVEY'S OFFICE PRODUCTS OFFICE SUPPLIES 001-101-60510	08/17/2023 MDIAZ OFFICE SUPPLIES		57.16	57.16	Open	N 08/17/2023
PINV2463756 00015197	GARVEY'S OFFICE PRODUCTS OFFICE SUPPLIES 001-101-60510	08/24/2023 MDIAZ OFFICE SUPPLIES		24.73	24.73	Open	N 08/24/2023
PINV2464794 00015208	GARVEY'S OFFICE PRODUCTS OFFICE SUPPLIES 001-101-60510	08/28/2023 MDIAZ OFFICE EXPENSE		123.45	123.45	Open	N 08/28/2023
PINV2465835 00015215	GARVEY'S OFFICE PRODUCTS OFFICE SUPPLIES 001-110-60510	08/30/2023 MDIAZ OFFICE EXPENSE		33.94	33.94	Open	N 08/30/2023
PINV2466809 00015229	GARVEY'S OFFICE PRODUCTS OFFICE SUPPLIES 001-101-60510	08/31/2023 MDIAZ OFFICE EXPENSE		17.35	17.35	Open	N 08/31/2023
PINV2466578 00015230	GARVEY'S OFFICE PRODUCTS OFFICE SUPPLIES 001-101-60510	08/31/2023 MDIAZ OFFICE EXPENSE		332.59	332.59	Open	N 08/31/2023
PINV2466381 00015231	GARVEY'S OFFICE PRODUCTS OFFICE SUPPLIES 001-101-60510	08/30/2023 MDIAZ OFFICE EXPENSE		40.23	40.23	Open	N 08/31/2023
Total Vendor 0056 - GARVEY'S OFFICE PRODUCTS				690.27	690.27		

Vendor 0488 - HENRY HOLLANDER

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Vendor 0488 - HENRY HOLLANDER							
230914HENRYHOLL 00015203	HENRY HOLLANDER CELL PHONE REIMBURSEMENT, HENRY HOLLANDE MDIAZ 001-101-50520	09/14/2023		50.00	50.00	Open	N 08/25/2023
				50.00			
Total Vendor 0488 - HENRY HOLLANDER				<u>50.00</u>	<u>50.00</u>		
Vendor MISC - HOWARD GRILL							
230801HOWARDGRI 00015184	HOWARD GRILL COST SHARE REIMBURESEMENT - INVASIVE SHR MDIAZ 001-106-50830	08/01/2023		3,720.00	3,720.00	Open	N 08/16/2023
				3,720.00			
Total Vendor MISC - HOWARD GRILL				<u>3,720.00</u>	<u>3,720.00</u>		
Vendor 0754 - HOWARD SIMON							
12390653 00015170	HOWARD SIMON PAYROLL SERVICES, 08/15/2023 001-101-50370	08/14/2023		424.59	424.59	Open	N 08/14/2023
				424.59			
12391689 00015224	HOWARD SIMON PAYROLL SERVICES, 08/31/2023 001-101-50370	08/30/2023		45.64	45.64	Open	N 08/30/2023
				45.64			
Total Vendor 0754 - HOWARD SIMON				<u>470.23</u>	<u>470.23</u>		
Vendor 0071 - HT STRENGER							
1919755 00015216	HT STRENGER GRINDER PUMP MAINTENANCE, VOR 502-000-50100	06/30/2023		12,630.00	12,630.00	Open	N 08/30/2023
				12,630.00			
1921824 00015217	HT STRENGER GRINDER PUMP MAINTENANCE, VOR 502-000-50100	06/21/2023		1,146.00	1,146.00	Open	N 08/30/2023
				1,146.00			

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Vendor 0071 - HT STRENGER

I921826 00015218	HT STRENGER GRINDER PUMP MAINTENANCE, VOR 502-000-50100	06/21/2023 MDIAZ GRINDER PUMP MAINTENANCE		89.00 89.00	89.00	Open	N 08/30/2023
I918829 00015219	HT STRENGER GRINDER PUMP MAINTENANCE, 2590 502-000-50100	07/26/2023 HAZELNUT MDIAZ GRINDER PUMP MAINTENANCE		5,984.00 5,984.00	5,984.00	Open	N 08/30/2023
I920908 00015220	HT STRENGER GRINDER PUMP MAINTENANCE, 714 502-000-50100	04/04/2023 RINGLAND R MDIAZ GRINDER PUMP MAINTENANCE		1,049.00 1,049.00	1,049.00	Open	N 08/30/2023
I922027 00015221	HT STRENGER GRINDER PUMP MAINTENANCE, VOR 502-000-50100	07/28/2023 MDIAZ GRINDER PUMP MAINTENANCE		18,945.00 18,945.00	18,945.00	Open	N 08/30/2023
I922126 00015222	HT STRENGER GRINDER PUMP MAINTENANCE, 2085 502-000-50100	07/23/2023 ROBINWOOD MDIAZ GRINDER PUMP MAINTENANCE		1,056.00 1,056.00	1,056.00	Open	N 08/30/2023
I922257 00015223	HT STRENGER GRINDER PUMP MAINTENANCE, VOR 502-000-50100	07/31/2023 MDIAZ GRINDER PUMP MAINTENANCE		4,950.00 4,950.00	4,950.00	Open	N 08/30/2023

Total Vendor 0071 - HT STRENGER

45,849.00 45,849.00

Vendor 0772 - KLOEPFER CONSTRUCTION, INC.

5744 00015189	KLOEPFER CONSTRUCTION, INC. WATER MAIN REPAIR - 560/610 501-000-80202	08/04/2023 THORNMEADOW MDIAZ WATER MAINS		4,655.00 4,655.00	4,655.00	Open	N 08/18/2023
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Total Vendor 0772 - KLOEPFER CONSTRUCTION, INC.

4,655.00 4,655.00

Vendor 0102 - LAKE COUNTY DIVISION OF TRANSPORTAT

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Vendor 0102 - LAKE COUNTY DIVISION OF TRANSPORTAT							
430034446 00015235	LAKE COUNTY DIVISION OF TRANSPORTAT 3RD QUARTER OF FY2023 ROUTINE TRAFFIC SI MDIAZ 001-104-50720	08/29/2023		409.24	409.24	Open	N 08/31/2023
				409.24			
Total Vendor 0102 - LAKE COUNTY DIVISION OF TRANSPORTAT				<u>409.24</u>	<u>409.24</u>		
Vendor 0105 - LAKE COUNTY PUBLIC WORKS							
230831LAKECOUNT 00015226	LAKE COUNTY PUBLIC WORKS SEWER VH, 06/30/2023 - 08/31/2023, 00488 MDIAZ 001-101-50710	08/31/2023		102.08	102.08	Open	N 08/31/2023
				102.08			
230831LAKECOUNT 00015227	LAKE COUNTY PUBLIC WORKS SEWER PD, 06/30/2023 - 08/31/2023, 03239 MDIAZ 001-110-50710	08/31/2023		204.16	204.16	Open	N 08/31/2023
				204.16			
Total Vendor 0105 - LAKE COUNTY PUBLIC WORKS				<u>306.24</u>	<u>306.24</u>		
Vendor 0553 - LAW ENFORCEMENT TRAINING, LLC							
INV-0631 00015237	LAW ENFORCEMENT TRAINING, LLC MONTHLY COURTSMART PUBLICATION 001-110-50630	08/31/2023		960.00	960.00	Open	N 08/31/2023
				960.00			
Total Vendor 0553 - LAW ENFORCEMENT TRAINING, LLC				<u>960.00</u>	<u>960.00</u>		
Vendor 0727 - LINCOLNSHIRE-RIVERWOODS FIRE PROTEC							
11584 00015168	LINCOLNSHIRE-RIVERWOODS FIRE PROTEC FIRE ALARM MODIFICATIONS 001-102-50341	08/10/2023		450.00	450.00	Open	N 08/14/2023
				450.00			
11585 00015176	LINCOLNSHIRE-RIVERWOODS FIRE PROTEC SPRINKLER SYSTEM 001-102-50341	08/11/2023		535.00	535.00	Open	N 08/15/2023
				535.00			

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Vendor 0727 - LINCOLNSHIRE-RIVERWOODS FIRE PROTEC							
11586 00015177	LINCOLNSHIRE-RIVERWOODS FIRE PROTEC SPRINKLER SYSTEM 001-102-50341	08/11/2023 MDIAZ FIRE DEPARTMENT EXPENSE		535.00 535.00	535.00	Open	N 08/15/2023
Total Vendor 0727 - LINCOLNSHIRE-RIVERWOODS FIRE PROTEC				<u>1,520.00</u>	<u>1,520.00</u>		
Vendor 0115 - LUND INDUSTRIES							
103839 00015180	LUND INDUSTRIES 2020 CHEVY TAHOE BLACK, CHIEF'S VEHICLE 001-110-50010	08/15/2023 MDIAZ 2020 CHEVY TAHOE BLACK - INSTALL EQUIP		340.00 340.00	340.00	Open	N 08/16/2023
Total Vendor 0115 - LUND INDUSTRIES				<u>340.00</u>	<u>340.00</u>		
Vendor 0531 - MELISSA C.WACH							
230901WACH 00015239	MELISSA C.WACH AUGUST 2023 PROSECUTION LEGAL FEES 001-110-50330	09/01/2023 MDIAZ LEGAL EXPENSE		5,958.00 5,958.00	5,958.00	Open	N 09/01/2023
Total Vendor 0531 - MELISSA C.WACH				<u>5,958.00</u>	<u>5,958.00</u>		
Vendor 0614 - MICHAEL CLAYTON							
230814MICHAELCL 00015169	MICHAEL CLAYTON IML 2023 ANNUAL CONFERENCE - REIMBURSEME 001-101-50620	08/14/2023 MDIAZ IML 2023 ANNUAL CONFERENCE-REIMBURSEMENT		310.00 310.00	310.00	Open	N 08/14/2023
Total Vendor 0614 - MICHAEL CLAYTON				<u>310.00</u>	<u>310.00</u>		
Vendor 0650 - MOTOROLA SOLUTIONS-STARCOM121							
8281693095 00015205	MOTOROLA SOLUTIONS-STARCOM121 RADIO MAINTENANCE 001-110-50010	08/16/2023 MDIAZ AUTO - REPAIRS & MAINTENANCE		75.00 75.00	75.00	open	N 08/25/2023
Total Vendor 0650 - MOTOROLA SOLUTIONS-STARCOM121				<u>75.00</u>	<u>75.00</u>		

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Vendor MISC - NANCY ROSETH							
230825NANCYROSE							
00015200	NANCY ROSETH	08/25/2023		1,368.00	1,368.00	Open	N
	COST SHARE REIMBURSEMENT - NATIVE TREE MDIAZ						08/25/2023
	001-106-50850	NATIVE TREE & SHRUB PLANTING		1,368.00			
Total Vendor MISC - NANCY ROSETH				<u>1,368.00</u>	<u>1,368.00</u>		
Vendor 0449 - NORTH SHORE GAS							
230815NSGASX191							
00015182	NORTH SHORE GAS	08/15/2023		86.12	86.12	Open	N
	UTILITIES EXPENSE - GAS	MDIAZ					08/16/2023
	001-101-50710	UTILITIES EXPENSE - GAS		86.12			
230815NSGASX066							
00015183	NORTH SHORE GAS	08/15/2023		76.63	76.63	Open	N
	UTILITIES EXPENSE - GAS	MDIAZ					08/16/2023
	501-000-50710	UTILITIES EXPENSE - GAS		76.63			
Total Vendor 0449 - NORTH SHORE GAS				<u>162.75</u>	<u>162.75</u>		
Vendor 0566 - NORTHWEST COMMUNITY HOSPITAL							
31521							
00015173	NORTHWEST COMMUNITY HOSPITAL	08/01/2023		81.00	81.00	Open	N
	PHYSICAL EXAM AND DRUG TEST	MDIAZ					08/15/2023
	001-110-50090	PHYSICAL EXAM AND DRUG TEST		81.00			
Total Vendor 0566 - NORTHWEST COMMUNITY HOSPITAL				<u>81.00</u>	<u>81.00</u>		
Vendor 0148 - ORPHANS OF THE STORM							
230810ORPHANS							
00015193	ORPHANS OF THE STORM	08/10/2023		375.00	375.00	Open	N
	ANIMAL CONTROL	MDIAZ					08/22/2023
	001-110-50230	ANIMAL CONTROL		375.00			
Total Vendor 0148 - ORPHANS OF THE STORM				<u>375.00</u>	<u>375.00</u>		
Vendor 0133 - QUADIENT FINANCE USA, INC.							

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Vendor 0133 - QUADIANT FINANCE USA, INC.							
230813QUAD 00015188	QUADIANT FINANCE USA, INC. POSTAGE 001-101-50510	08/13/2023 MDIAZ POSTAGE EXPENSE		500.00 500.00	500.00	Open	N 08/18/2023
Total Vendor 0133 - QUADIANT FINANCE USA, INC.				<u>500.00</u>	<u>500.00</u>		
Vendor 0134 - QUADIANT, INC.							
N10079274 00015210	QUADIANT, INC. POSTAGE EQUIPMENT - LEASE PAYMENT 001-101-60512	08/21/2023 MDIAZ POSTAGE EQUIPMENT - LEASE PAYMENT		947.97 947.97	947.97	Open	N 08/28/2023
Total Vendor 0134 - QUADIANT, INC.				<u>947.97</u>	<u>947.97</u>		
Vendor 0165 - RAY O'HERRON CO., INC.							
2289786 00015204	RAY O'HERRON CO., INC. POLICE OFFICERS EQUIP. 001-110-50070	08/21/2023 MDIAZ POLICE OFFICERS EQUIP.		8.13 8.13	8.13	Open	N 08/25/2023
2289866 00015206	RAY O'HERRON CO., INC. POLICE OFFICERS EQUIP. 001-110-50070	08/22/2023 MDIAZ POLICE OFFICERS EQUIP.		1,088.87 1,088.87	1,088.87	Open	N 08/25/2023
Total Vendor 0165 - RAY O'HERRON CO., INC.				<u>1,097.00</u>	<u>1,097.00</u>		
Vendor 0695 - RGN & SONS LANDSCAPING INC.							
230731RGN 00015196	RGN & SONS LANDSCAPING INC. LANDSCAPING - JULY 2023 001-101-50130	07/31/2023 MDIAZ LANDSCAPING - JULY 2023		7,275.00 7,275.00	7,275.00	Open	N 08/24/2023
230805RGN 00015199	RGN & SONS LANDSCAPING INC. BURR OAK TRAIL MAINT - JUNE & JULY 2023, MDIAZ 130-000-50360	08/05/2023 BURR OAK TRAIL MAINT - JUNE & JULY 2023		765.00 765.00	765.00	Open	N 08/24/2023
Total Vendor 0695 - RGN & SONS LANDSCAPING INC.				<u>8,040.00</u>	<u>8,040.00</u>		

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Vendor 0695 - RGN & SONS LANDSCAPING INC.							
Vendor 0173 - SECRETARY OF STATE							
230901SECOFSTAT							
00015240	SECRETARY OF STATE	09/01/2023		173.00	173.00	open	N
	POLICE INTERCEPTOR UTILITY - STOCK# S005 MDIAZ						09/01/2023
	001-110-90520	POLICE INTERCEPTOR UTILITY-STOCK# S00576		173.00			
Total Vendor 0173 - SECRETARY OF STATE				173.00	173.00		
Vendor 0312 - SUBURBAN ACCENTS, INC							
33790							
00015236	SUBURBAN ACCENTS, INC	08/30/2023		650.00	650.00	open	N
	GRAPHICS & LETTERING ON POLICE VEHICLE, MDIAZ						08/31/2023
	001-110-90520	GRAPHICS & LETTERING ON POLICE VEHICLE		650.00			
Total Vendor 0312 - SUBURBAN ACCENTS, INC				650.00	650.00		
Vendor MISC - SUSAN NOVOSAD							
230801SUSANNOVO							
00015185	SUSAN NOVOSAD	08/01/2023		1,910.00	1,910.00	open	N
	COST SHARE REIMBURESEMENT - NATIVE TREE MDIAZ						08/16/2023
	001-106-50850	NATIVE TREE & SHRUB PLANTING		1,910.00			
Total Vendor MISC - SUSAN NOVOSAD				1,910.00	1,910.00		
Vendor 0787 - TASCA CHEVROLET							
84750							
00015190	TASCA CHEVROLET	08/18/2023		732.31	732.31	Open	N
	2019 CHEVY TAHOE - REPLACE MAP SENSOR MDIAZ						08/21/2023
	001-110-50010	2019 CHEVY TAHOE - REPLACE MAP SENSOR		732.31			
Total Vendor 0787 - TASCA CHEVROLET				732.31	732.31		
Vendor 0786 - TRI-RIVER POLICE TRAINING REGION, INC.							
5290							
00015174	TRI-RIVER POLICE TRAINING REGION, I	08/14/2023		150.00	150.00	open	N
	TUITION FEE: THE LEGAL AND JUSTIFIABLE U MDIAZ						08/15/2023
	001-110-50630	TRAINING EXPENSE		150.00			
Total Vendor 0786 - TRI-RIVER POLICE TRAINING REGION, INC.							

INVOICE REGISTER FOR VILLAGE OF RIVERWOODS

POST DATES 08/14/2023 - 09/01/2023

POSTED AND UNPOSTED
OPEN

Invoice Number

Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date
Vendor 0786 - TRI-RIVER POLICE TRAINING REGION, INC.							
				150.00	150.00		
Vendor 0206 - VERIZON WIRELESS							
9942166288							
00015202	VERIZON WIRELESS	08/16/2023		716.14	716.14	Open	N
	TELEPHONE EXPENSE						08/25/2023
	001-101-50520	TELEPHONE EXPENSE		282.19			
	001-110-50520	TELEPHONE EXPENSE		433.95			
Total Vendor 0206 - VERIZON WIRELESS				<u>716.14</u>	<u>716.14</u>		
Vendor 0764 - WEX BANK							
91173282							
00015186	WEX BANK	08/15/2023		1,399.63	1,399.63	Open	N
	MONTHLY FUEL						08/17/2023
	001-110-60550	MONTHLY FUEL		1,399.63			
Total Vendor 0764 - WEX BANK				<u>1,399.63</u>	<u>1,399.63</u>		
Vendor 0761 - WRB LLC							
2023-15							
00015192	WRB LLC	08/18/2023		30,121.97	30,121.97	Open	N
	CONSULTANT						08/21/2023
	001-101-50360	CONSULTANT		30,121.97			
Total Vendor 0761 - WRB LLC				<u>30,121.97</u>	<u>30,121.97</u>		
# of Invoices: 73 # Due: 73				Totals: 158,006.49	158,006.49		
# of Credit Memos: 0 # Due: 0				Totals: 0.00	0.00		
Net of Invoices and Credit Memos:				158,006.49	158,006.49		
--- TOTALS BY FUND ---							
	001 GENERAL			90,904.92	90,904.92		
	130 SSA 30 BURR OAK TRAIL			765.00	765.00		
	501 CONSOLIDATED WATER FUND			20,145.48	20,145.48		
	502 SEWER FUND			46,191.09	46,191.09		

INVOICE REGISTER FOR VILLAGE OF RIVERWOODS

POST DATES 08/14/2023 - 09/01/2023

POSTED AND UNPOSTED
OPEN

Invoice Number

Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date
--- TOTALS BY DEPT/ACTIVITY ---							
	000			67,101.57	67,101.57		
	101 ADMINISTRATION			44,871.74	44,871.74		
	102 BUILDING DEPARTMENT			10,326.63	10,326.63		
	104 ROAD & BRIDGE & STORM WATER			409.24	409.24		
	106 WOODLAND MANAGEMENT			6,998.00	6,998.00		
	110 POLICE			28,299.31	28,299.31		

POLICE REPORT



Riverwoods Police Incident Analysis Report

Summary by Incident Type

9/5/2023

Activity Through August 31st of Each Year

Incident Type	2023 YTD	This Time 2022 YTD
46 (7503) (Mortorist Assist)	53	61
50 PD (7572) (Crash Property Damage)	65	47
50 PI (7571) (Crash Personal Injury)	15	9
50 Priv Prop (7573) (Crash Private Property)	5	5
911 Hang up (7911)	6	11
Ambulance (7021)	249	179
Animal Problem (7245)	31	49
AOA (7001)	115	179
Armed Robbery (0310)	-	-
Assault (0500)	1	1
Attempt Suicide (7221)	1	1
Battery - Simple (0460)	1	2
Battery (0400)	1	3
Burg - From Motor Veh (0760)	-	2
Burglar Alarm (7082)	179	146
Burglary - Residential (0625)	3	3
Burglary (0600)	2	1
Cell 911 (7912)	-	1
Child Seat Inspect (7042)	4	5
Construction Comp (7078)	1	-
Controlled Substance (2000)	-	-
Credit Card Fraud (1150)	1	2
Crim Damage to Prop (1310)	6	2
Crim Sexual Assault (1563)	-	-
Crim Trespass to Land (1330)	2	-
Crim Trespass to Veh (1360)	-	-
Death Investigation (7231)	1	2
Deceptive Practice (1110)	6	4
Domestic Battery (0486)	-	-
Domestic Trouble (7130)	17	11
DUI (2410)	29	35
Fingerprinting (7039)	7	5
Fire Alarm (0733)	33	24
Fire Call (7024)	33	17
Fireworks Complaints (3001)	5	7
Forgery (1120)	-	-
Found Animal (7246)	5	6
Found Prop. (7156)	5	1
Harassment by Telephone (2825)	1	1
Hold Up Alarm (7083)	15	8
Identity Theft (7198)	11	9
Lock out - Vehicle (7051)	10	13
Lost / Mislaid Prop (7144)	2	8
Missing Person (7178)	1	2
Noise Comp (7078)	18	22
Notification (7049)	9	13
Other Comp (7079)	52	44
Other Investigation (7199)	25	22

Incident Type	2023 YTD	This Time 2022 YTD
Other Trouble (7139)	5	4
Parking Complaint (7522)	11	9
Premise Exam (7041)	997	909
Public Service (7040)	45	31
Roadway Debris (7250)	19	10
Solicitor (7063)	13	4
Suicide (7211)	-	-
Suspicious Auto (7123)	38	42
Suspicious Person (7123)	23	26
Telephone Threat (2820)	-	-
Theft from Motor Veh (0710)	-	2
Theft of Motor Veh (0910)	2	1
Theft Over \$500 (0815)	4	1
Theft Under \$500 (0825)	3	3
Traffic Complaint (7521)	38	37
Turned in Weapon/Ammo (7160)	1	1
Village Ord. Violation (7500)	16	13
Well Being Check (7045)	41	25
Total:	2282	2081
Crime Prevention Notices	391	378
Case Reports	128	143
Traffic Stops	1043	1312
Number of Citations issued	420	517
Number of Persons Issued Citations	277	364

7 houses are currently on the Vacation Watch list and are checked regularly.

NEW BUSINESS

Agenda Item 13 (a)

Approval of Final Plat of Subdivision for 1400 Saunders Road

Please see the attached staff report for background of this subdivision application and the review letters of the Village Engineer, Certified Wetlands Specialist, Ecologist and Attorney.

At the Plan Commission meeting of August 3, 2023, the final subdivision plat was reviewed for conformance with the subdivision ordinance. The Plan Commission voted 4-2 in favor of recommending approval to the Board of Trustees.

The dissenting votes were concerned that there was not a sufficient justification for reducing the wetland buffer areas from 100 feet to 50 feet in certain places. This view was held by some objecting homeowners who live adjacent to the subject subdivision.

Jedd Anderson, from Christopher Burke Engineering, is the consulting Certified Wetlands Specialist who advises the Village. He explained that the reduction was merited by the very low impact of a few single family homes and the ecological restoration efforts that the applicant has been conducting to improve the native vegetation buffer. Mr. Anderson's letter is included in the staff memo.

Since that meeting, our attorney reviewed the subdivision plat for the Regent Estates subdivision, in which the objecting homeowner lives. In that subdivision, the wetland buffers were reduced to 50 feet and in some instances less than 50 feet (in the case of the objecting homeowner to the north).

Jedd Anderson states that he has been consistent in how he evaluates the conditions for reducing wetland buffers. Our attorney advises that the reduction falls under the jurisdiction of the Enforcement Officer under the Watershed Development Ordinance (i.e., our Village Engineer) who has relied on advice of a Certified Wetlands Specialist.

The Plan Commission included conditions that the applicant should address certain technical clarifications to the subdivision plat mentioned in the review letters. These matters have now been addressed to the satisfaction of our consultants.

A Resolution to approve the subdivision plat follows with a copy of the Plat attached.

Attachments

Resolution

Final Plat of Subdivision

Declaration of Covenants, Conditions, Restrictions and Easements

Preliminary Engineering Drawings

Staff Report dated July 27, 2023

RESOLUTION R-23-09-03

**A RESOLUTION APPROVING A FINAL SUBDIVISION PLAT
FOR GREEN TECHNOLOGIES SUBDIVISION**

WHEREAS, the Village of Riverwoods (the “Village”) is a home rule municipality in accordance with the Constitution of the State of Illinois of 1970; and

WHEREAS, Green Building Technologies, Inc. (the “Owner”), is the legal owner of the property commonly known as 1400 Saunders Road, Riverwoods, Illinois, containing approximately 10.24 net acres (the “Property”); and

WHEREAS, the Owner applied to subdivide the Property into three lots of record, each of which will be conforming the requirements of the R-2 80,000 square foot single-family residential district; and

WHEREAS, the Owner submitted both a preliminary and final plat of subdivision along with preliminary site improvement plans; and

WHEREAS, on August 3, 2023, the Plan Commission conducted a public meeting to review and consider the Owner’s request for approval of the preliminary and final plat of subdivision, and at the conclusion of such meeting, the Plan Commission voted to recommend approval a final plat of subdivision for Green Building Technologies Subdivision prepared by Bleck Engineering Company, Inc., in the form attached as Exhibit A hereto (the “Final Plat”), subject to compliance with certain conditions; and

WHEREAS, the Owner has now satisfied those conditions, and the President and Board of Trustees of the Village find that the approval of this Final Plat will promote the public health, safety and general welfare of the residents of the Village.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF RIVERWOODS, LAKE COUNTY, ILLINOIS:

SECTION ONE: The facts, statements and findings contained in the preamble to this Resolution are found to be true and correct, and are hereby adopted as part of this Resolution.

SECTION TWO: The Final Plat, subject to final review as to form by the Village Attorney, is hereby approved, subject to the conditions set forth in Section Three of this Ordinance, and satisfaction of such conditions, the Village President, Village Clerk and other appropriate Village officials are hereby authorized and directed to execute, attest and seal the customary certifications in the Final Plat, indicating such approval for and in the name of the Village. The Village Attorney will then be authorized to provide for the recording of the Final Plat with the Recorder of Deeds of Lake County, Illinois in the such plat on behalf of the Village of Riverwoods. The Finance Director will then be authorized to assess against and collect from the Owner all the costs incurred in connection with recording the Final Plat and satisfying the conditions of this Ordinance.

SECTION THREE: Approval of the Final Plat is subject to the following conditions:

A. The Owner shall present to the Village an original of the Final Plat bearing all of the required signatures from all persons who are not Village officials, and the Owner's originally executed counterpart of the Declaration of Covenants, Conditions, Restrictions and Easements, in form approved by the Village Attorney, to protect the wetlands on the Property.

B. The Owner shall reimburse the Village upon presentation of a written demand for all legal, engineering and consulting fees and other costs and expenses incurred by the Village in connection with the review and approval of the Final Plat.

C. The Owner shall pay a cash contribution in lieu of land donation in the amount of \$11,800, in satisfaction of Section 10-4-2-E of the Subdivision Control Ordinance. The Owner shall pay school impact fees if any are assessed by the applicable districts.

SECTION FOUR: This Resolution shall be in full force and effect from and after its approval and passage as provided by law.

AYES:

NAYS:

ABSENT:

PASSED & APPROVED this 5th day of September, 2023.

Kristine L. Ford, Village President

Attest:

Moira K. Bowne, Village Clerk

EXHIBIT A

FINAL PLAT OF SUBDIVISION FOR GREEN BUILDING TECHNOLOGIES SUBDIVISION

GREEN BUILDING TECHNOLOGIES SUBDIVISION

BEING A SUBDIVISION IN THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS.
GROSS AREA = 10.94 ACRES, NET AREA = 10.24 ACRES.

COMED AND PHONE EASEMENT

EASEMENT PROVISIONS
An easement for serving the subdivision and other property with electric and communication service is hereby reserved for and granted to Commonwealth Edison Company and Telephone Company, Grantees.

Their respective licensees, successors and assigns jointly and severally, to construct, operate, repair, maintain, modify, reconstruct, replace, supplement, relocate and remove, from time to time, poles, guys, anchors, wires, cables, conduits, manholes, transformers, pedestals, equipment cabinets or other facilities used in connection with overhead and underground transmission and distribution of electricity, communications, sounds and signals in, over, under, across, along and upon the surface of the property shown within the dashed or dotted lines (or similar designation) on the plat marked "Easement", "Utility Easement", "Public Utility Easement", "P, U, E" (or similar designation), the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", and the property designated on the plat as "common area or areas", and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install required service connections over or under the surface of each lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes, roots and saplings and to clear obstructions from the surface and subsurface as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over Grantee's facilities or in, upon or over the property within the dashed or dotted lines (or similar designation) marked "Easement", "Utility Easement", "Public Utility Easement", "P, U, E" (or similar designation) without the prior written consent of Grantee. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 765 ILCS 805/2(c), as amended from time to time. The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole or as an apportionment to the separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as "outlots", "common elements", "open space", "open area", "common ground", "parking" and "common area". The term "common area or areas", and "Common Elements" include real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structures such as a pool, retention pond or mechanical equipment. Relocation of facilities will be done by Grantee at cost of the Grantor/Lot Owner, upon written request.

EASEMENT PROVISIONS

Easements designated for underground and surface telecommunications, public utilities, and drainage facilities are hereby reserved for, and granted to, the Village of Riverwoods, and the providers of telecommunications and public utilities, their successors and assigns, in all platted easement areas shown on this plat. Said easements shall be for the purpose of installing, extending, reconstructing, repairing, maintaining, reconstructing, and operating such telecommunications, public utilities and sanitary and storm sewer facilities and related appurtenances, in, under, across, along and upon, the so designated easement area in order to serve all areas shown on this plat as well as other real property, whether or not contiguous thereto.

This grant of easement shall include the right of the grantee to enter upon the subdivided property for all such purposes, and the right, without liability, to cut, trim, alter, or remove any vegetation, roots, structures, or devices within the designated easement area as may be reasonably required incident to the rights herein given. Without prior written consent of the grantees hereunder, no buildings, structures, or other obstructions shall be constructed, placed, or planted in any such easement areas, nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby. See note # 4.

EMERGENCY ACCESS

The right of ingress and egress is hereby granted over, upon and through the land subdivided hereby for emergency vehicles of any and all types, for the Village of Riverwoods and other governmental authorities having jurisdiction.

BIKE AND PEDESTRIAN PATHS

An easement is hereby reserved to the Village of Riverwoods, its successors and assigns, to install, lay, construct, reconstruct, renew, operate and maintain bicycle and pedestrian paths over and upon the public utility, drainage and municipal services easement area.

DECLARATIONS OF COVENANTS, CONDITIONS RESTRICTIONS AND EASEMENTS

All of the property included in the subdivision shall be held, transferred and conveyed subject to that certain Declaration of Covenants, Conditions Restrictions and Easements for Green Building Technologies Subdivision, as amended.

NORTH SHORE GAS EASEMENT CERTIFICATE

An easement is hereby reserved for and granted to the North Shore Gas Company

its successors and assigns, to install, construct, reconstruct, operate, maintain, inspect, repair, renew, replace, alter, remove, change the size of or abandon in place pipelines, gas mains, service pipes, and such drips, valves, valve boxes, fittings, meters, regulators and other equipment and appurtenances as may be necessary or convenient for such operations in, through, under, across and within any areas that are reserved for the purpose of a utility easement and all roads, streets, common areas (if any) within the subdivision together with the right to install required improvements under the surface of each lot to serve improvements thereon and also the right to enter upon the subdivision property for all such operations. No obstructions or structures of any kind shall be placed over Grantee's facilities without the prior written consent of Grantee. Grantee's facilities, equipment and appurtenances, when installed, will not interfere with the movement of traffic upon such roads, streets or common areas.

OWNER CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF LAKE)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS (ARE) THE SOLE OWNER(S) OF THE LAND DESCRIBED IN THE SUBJECT PLAT HEREIN, THAT NO OTHER PERSON HAS ANY RIGHT, TITLE OR INTEREST IN SAID LAND, AND AS OWNER, WE HAVE CAUSED SAID PROPERTY TO BE SURVEYED, SUBDIVIDED, STAKED, DEDICATED, AND PLATTED AS SHOWN HEREON FOR THE PURPOSE OF HAVING THIS PLAT RECORDED AS PROVIDED BY LAW, AND HEREBY ALSO RESERVE THE EASEMENT PROVISIONS WHICH ARE STATED ON THEIR STANDARD FORMS FOR AT&T, PEOPLES ENERGY, COMMONWEALTH EDISON COMPANY, AND THE AUTHORIZED CABLE TELEVISION COMPANIES AND THEIR RESPECTIVE SUCCESSORS.

THIS IS ALSO TO CERTIFY THAT THE LAND DESCRIBED HEREIN HAS BEEN DETERMINED TO THE BEST OF OUR KNOWLEDGE, THE SCHOOL DISTRICT IN WHICH THIS ENTIRE SUBDIVISION LIES IS WITHIN ELEMENTARY SCHOOL DISTRICT 109, HIGH SCHOOL DISTRICT 113, AND COMMUNITY COLLEGE DISTRICT 532.

DATED THIS ____ DAY OF _____, A.D. 2023.

GREEN BUILDING TECHNOLOGIES, INC.
332 N. DEERE PARK W., HIGHLAND PARK, ILLINOIS 60035

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) S.S.

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY OF _____ IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME IS SUBSCRIBED TO THE ADJACENT CERTIFICATE OF OWNERSHIP, APPEARED BEFORE ME THIS DAY IN PERSON AND INDIVIDUALLY ACKNOWLEDGED THAT THEY DID SIGN AND DELIVER THE OWNERSHIP CERTIFICATE AS HIS FREE AND VOLUNTARY ACT, AND AS THE FREE AND VOLUNTARY ACT FOR THE PURPOSE AND USE THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, 2023.

NOTARY PUBLIC

MY NOTARIAL COMMISSION EXPIRES ON _____, 20__.

DRAINAGE CERTIFICATE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF THE SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATERS DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF THE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

BY: _____
OWNER OR REPRESENTATIVE

PERMISSION TO RECORD CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF LAKE)

I, JACK R. BLECK, AN ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3591, DO HEREBY GRANT PERMISSION TO THE VILLAGE OF RIVERWOODS TO RECORD THIS PLAT.

DATED THIS ____ DAY OF _____, A.D. 2023.

ILLINOIS PROFESSIONAL LAND SURVEYOR

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF LAKE)

I, JACK R. BLECK, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THE SOUTH 910 FEET OF THE NORTH 1741.86 FEET OF THE WEST 523.66 FEET OF THE EAST 112 RODS OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS. P.I.N. 16-30-100-005

GROSS AREA = 10.94 ACRES, NET AREA = 10.24 ACRES.

PER FLOOD INSURANCE RATE MAP, PANEL NUMBER 17097C0267 K EFFECTIVE DATE SEPTEMBER 18, 2013, NO PORTION OF THE ABOVE MENTIONED PROPERTY IS LOCATED WITHIN A FLOOD ZONE.

I FURTHER CERTIFY THAT THIS SUBDIVISION IS LOCATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF RIVERWOODS WHICH HAS ADOPTED A COMPREHENSIVE PLAN AND MAP AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY TITLE 8, CHAPTER 1, ARTICLE 2 OF THE MUNICIPAL CODE AS AMENDED, IN THE STATE OF ILLINOIS.

I HAVE MONUMENTED THE CORNERS OF THE LOTS SHOWN HEREON AND ALL POINTS OF CURVATURE AND POINTS OF TANGENCY WITH IRON RODS (UNLESS NOTED OTHERWISE), AND THAT THE PLAT HEREON DRAWN IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY AND STAKING. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A "BOUNDARY SURVEY."

DATED THIS ____ TH DAY OF _____, A.D. 2023.

J. P. L. S. # 35003591
LICENSE EXPIRATION DATE 11/30/2024

Restricted Natural Resource Protection Line Table

Line #	Length	Direction
L1	233.86	N89° 56' 15"W
L2	43.25	S23° 55' 56"W
L3	41.81	S27° 40' 37"E
L4	92.07	S40° 20' 09"W
L5	76.36	S11° 42' 44"W
L6	77.49	S55° 36' 34"E
L7	37.29	S13° 41' 03"E
L8	101.81	S62° 56' 36"W
L9	40.89	N62° 02' 17"W
L10	49.41	N85° 03' 57"W
L11	85.40	S79° 34' 27"W
L12	392.58	S0° 37' 02"W
L13	27.61	S89° 56' 15"E
L14	29.47	S29° 50' 37"E
L15	66.35	S47° 43' 45"E
L16	33.03	N86° 04' 37"E
L17	22.24	S24° 32' 35"E
L18	41.08	S63° 38' 38"E
L19	47.20	S43° 07' 18"E
L20	29.43	S31° 20' 04"E
L21	11.81	S4° 18' 47"W
L22	271.69	S89° 56' 15"E

MAXIMUM ALLOWABLE IMPERVIOUS SURFACE AREA

LOT 1	8,500 SF	0.20 AC
LOT 2	12,500 SF	0.29 AC
LOT 3	10,000 SF	0.23 AC

PROPOSED LOT ADDRESSES

LOT 1	#1500 SAUNDERS ROAD
LOT 2	#1440 SAUNDERS ROAD
LOT 3	#1400 SAUNDERS ROAD

LAKE COUNTY RECORDER CERTIFICATE

VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF LAKE)

APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF RIVERWOODS, LAKE COUNTY, ILLINOIS THIS ____ DAY OF _____, 20__.

VILLAGE ENGINEER _____

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF LAKE)

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF RIVERWOODS, LAKE COUNTY, ILLINOIS.

THIS ____ DAY OF _____, 20__.

BY: _____ (CHAIR) ATTEST: _____ (SECRETARY)

NAME: _____ NAME: _____

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS) S.S.
COUNTY OF LAKE)

I, _____, COLLECTOR OF THE VILLAGE OF RIVERWOODS, LAKE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT I FIND NO DEFERRED INSTALLMENTS OF OUTSTANDING UNPAID SPECIAL ASSESSMENTS AGAINST ANY OF THE REAL ESTATE INCLUDED IN THE PLAT HEREON DRAWN.

DATED AT VILLAGE OF RIVERWOODS, ILLINOIS THIS ____ DAY OF _____, A.D. 20__.

VILLAGE COLLECTOR, VILLAGE OF RIVERWOODS, IL _____

VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF LAKE)

PLAT APPROVED BY THE VILLAGE OF RIVERWOODS, LAKE COUNTY, ILLINOIS THIS ____ DAY OF _____, A.D. 20__.

NAME: _____ (VILLAGE PRESIDENT)

NAME: _____ (VILLAGE CLERK)

VILLAGE ATTORNEY'S CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF LAKE)

PLAT APPROVED BY THE VILLAGE OF RIVERWOODS, LAKE COUNTY, ILLINOIS THIS ____ DAY OF _____, A.D. 20__.

NAME: _____ (VILLAGE ATTORNEY)

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF LAKE)

I, _____, COUNTY CLERK OF LAKE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, UNPAID CURRENT GENERAL TAXES, DELINQUENT SPECIAL ASSESSMENTS OR UNPAID CURRENT SPECIAL ASSESSMENTS AGAINST ANY OF THE LAND INCLUDED IN THE DESCRIBED PROPERTY. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF LAKE COUNTY, ILLINOIS.

THIS ____ DAY OF _____, A.D. 20__.

LAKE COUNTY CLERK _____

Miscellaneous Notes

- BASIS OF BEARINGS: ILLINOIS STATE PLANE - EAST ZONE
- MEASUREMENTS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- RESTRICTED NATURAL RESOURCE PROTECTION AREAS SHALL HAVE PERMANENT BOUNDARY MARKERS, IN THE FORM OF IRON RODS, POST AND SIGN, LABELED "CONSERVANCY AREA" AND SHALL BE PLACED AT ALL CHANGE OF DIRECTION ALONG SAID AREAS.
- NOTWITHSTANDING ANYTHING IN THIS PLAT TO THE CONTRARY, ANY ABOVE-GROUND PEDESTALS, CABINETS, POLES OR OTHER FACILITIES SHALL NOT BE LOCATED IN THE PUBLIC UTILITY, DRAINAGE AND MUNICIPAL SERVICES EASEMENT AREA WITHOUT THE PRIOR APPROVAL OF THE VILLAGE OF RIVERWOODS.

PLAT SUBMITTAL AND RETURN TO ADDRESS:

THIS PLAT SUBMITTED FOR RECORDING BY, AND RETURN TO:
NAME: _____
ADDRESS: _____
CITY: _____
STATE: _____ ZIP: _____

ZONED R-2 (80,000 S.F., RESIDENTIAL)
Job # 95-048

Date: April 21, 2023
Revised 8-19-2023 per Village review letter
Revised 8-24-2023 per Village review
Revised 8-28-2023 per Village review

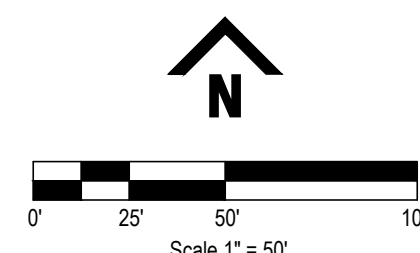
Professional Design Firm # 184-000911

BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045

T 847.295.5200 F 847.295.7081
www.bleckeng.com



This instrument was prepared by
and after recording return to:

Bruce Huvad
Village Attorney
Village of Riverwoods
300 Portwine Road
Riverwoods, Illinois 60015

Street Address: 1400 Saunders Road,
Riverwoods, IL 60015

PIN: 16-30-100-005

For Recorder's Office Use Only

DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS

THIS DECLARATION (the "Declaration") is made this ____ day of _____, 2023, by Geen Building Technologies, Inc., an Illinois corporation (hereinafter referred to as "Declarant").

PREAMBLES:

A. Declarant owns fee simple title to a certain parcel of real estate in the County of Lake, State of Illinois, legally described in Exhibit "A" attached hereto and made a part hereof (the "Property"); and

B. Declarant desires to provide for a single family residential development on the Property to be known as Riverwoods Estates (the "Development"); and

C. Declarant is desirous of submitting the Property to the provisions of this Declaration.

NOW, THEREFORE, Declarant hereby declares that the Property is, and shall be held, transferred, sold, conveyed and occupied, subject to the covenants, conditions, restrictions and easements hereinafter set forth.

ARTICLE I Definitions

When used in this Declaration, the following words and terms shall have the following meanings:

1.1. "Declarant" shall mean and refer to Riverwoods Development Builders, Inc., an Illinois corporation, its successors and assigns. Any such successor or assignee shall be entitled to exercise all or any rights of Declarant provided herein if designated as such by Declarant in any instrument recorded for such purposes as provided in Section 7.9.

1.2. "Defaulting Owner", except where otherwise defined hereunder in a specific context, means an Owner which has failed to make a payment of money owed under this Declaration to another Owner or to perform any of its duties or obligations as and when required hereunder.

1.3. "Dwelling" shall mean any building located on a Lot and intended for shelter and housing as a single family residence.

1.4. "Emergency Situation" shall mean a situation impairing or imminently likely to impair structural support or cause material physical damage to a Dwelling or imminently likely to cause bodily injury to persons or any property in, on, under, within, upon or about the Property. The duration of an Emergency Situation shall be deemed to include the time reasonably necessary to remedy the Emergency Situation.

1.5. "Impervious Surface Area" shall mean the impervious surface area on any Lot as determined in accordance with the Watershed Development Ordinance.

1.6. "Lot" shall mean each lot of record established pursuant to the Subdivision Plat.

1.7. "Overland Drainage Routes" shall mean the areas formed by culverts, swale lines, ditches or naturally occurring drainage features which channel storm water drainage into certain routes over and across the surface of the Lots before leaving the Property. Certain portions of the Property as shown in the approved, as-built site development plans for each Lot, may be reserved for Overland Drainage Routes and such portions are deemed part of the Overland Drainage Routes.

1.8. "Owner" shall mean and refer to the record owner, whether one or more Persons of fee simple title to any Lot, including contract sellers, but excluding those having such interest merely as security for the performance of an obligation. The term

"Owner" shall include the Declarant to the extent the Declarant owns Lots and also includes the interest of Declarant as contract seller of any Lot.

1.9. "Person" or "Persons" shall mean all natural individuals, corporations, partnerships, limited liability companies, trustees or other legal entities capable of holding title to real property.

1.10. "Property" shall mean and refer to the real estate legally described in Exhibit "A" attached hereto and made a part hereof.

1.11. "Subdivision Plat" shall mean the plat of subdivision for Green Building Technologies Subdivision, as recorded in the Office of the Recorder of Deeds of Lake County, State of Illinois.

1.12. "Village" shall mean the Village of Riverwoods, Lake County, Illinois.

1.13. "Watershed Development Ordinance" shall mean and refer to the Lake County Watershed Development Ordinance which has been incorporated by reference as Chapter 1 of Title 11 of the Riverwoods Village Code, as amended from time to time, and any successor ordinance, law or statute governing the management of storm water runoff and the protection and preservation of Wetland Areas and Wetland Buffer Areas.

1.14. "Wetland Areas" shall mean the wetland areas, whether or not designated on the Subdivision Plat, constituting protected Waters of the United States under applicable federal law and the Watershed Development Ordinance.

1.15. "Wetland Buffer Areas" shall mean the areas designated on the Subdivision Plat as constituting buffer areas to the Wetland Areas, which buffer areas are further defined and regulated under the Watershed Development Ordinance.

ARTICLE II
Declaration Purposes and Property
Subjected to Declaration

2.1. The Declarant desires to create on the Property a single-family development for future owners of Lots for the following general purposes:

(a) The Declarant desires to provide upon the Property, through its planning and layout, the harmonious development of a single-family community by the imposition of the covenants, conditions, restrictions and easements as hereinafter set forth, for the benefit of the Property and the Owners.

(b) By the imposition of covenants, conditions and restrictions set forth herein and the reservation of certain powers as herein contained, Declarant intends to

provide certain parts of a plan for development of the Property which is intended to enhance and protect the values of Declarant's single-family residential community.

(c) The Declarant desires to (i) prevent improper use of Lots which may degrade or destroy any Wetland Areas or Wetland Buffer Areas thereon or fail to promote the public policy of safeguarding against the loss of the Wetland Areas or Wetland Buffer Areas; (ii) provide for the maintenance, repair and replacement of the Overland Drainage Routes to prevent flooding, either on the Property itself or in any areas accepting storm water runoff from the Property; (iii) in keeping with the purposes enumerated in clauses (i) and (ii), ensure adequate and reasonable development of the Property which avoids actions that would tend to depreciate the value of any Owner's Lot; and (iv) in general, provide for the highest quality environment for the Development.

2.2. To further the general purposes herein expressed, the Declarant, for itself, its successors and assigns, hereby declares that the Property at all times is and shall be held, transferred, sold, conveyed and occupied subject to the covenants, conditions, restrictions and easements set forth in this Declaration.

ARTICLE III
Building and Other Restrictions
Regarding Wetlands, Overland Drainage Routes

3.1. No Owner shall construct improvements on any Lot such that the Impervious Surface Area of such Lot exceeds the limits set forth for such Lot on the Subdivision Plat. All homes shall be constructed within the building envelope for each Lot, as designated on the Subdivision Plat.

3.2. Each Owner shall maintain, occupy and use the Wetland Areas located on its Lot strictly in accordance with the requirements of applicable federal law and the Watershed Development Ordinance.

3.3. Each Owner shall maintain, occupy and use the Wetland Buffer Areas located on its Lot strictly in accordance with the terms of the Watershed Development Ordinance and this Declaration. If the terms of this Declaration are more restrictive than the terms of the Watershed Development Ordinance, or if the terms of the Watershed Development Ordinance are more restrictive than this Declaration, then the more restrictive terms shall apply and control. For example, as of the date of this Declaration, the Watershed Development Ordinance requires that the Wetland Buffer Areas must be maintained free from development including disturbance of the soil, dumping or filing, but permits the erection of structures and the placement of impervious surfaces (including trails and paths) over a maximum of twenty (20) percent of the buffer surface area. However, under this Declaration no boat, docks, boathouses, piers or any other kind of structures shall be erected in the Wetland Buffer Areas, except that an elevated wood deck for a pedestrian or bicycle trail, not more than eight (8) feet in width, shall be allowed.

For purposes of this Declaration, the term “structure” includes any barns, decks, patios, playground equipment, gazebos, sheds, accessory buildings or other improvements. Stormwater facilities which channel stormwater through and across Overland Drainage Routes may be located in Wetland Buffer Areas in accordance with the terms of the Watershed Development Ordinance. Wetland Buffer Areas may be used for passive recreation (e.g., birdwatching, walking, jogging, bicycling, horseback riding and picnicking) and may contain pedestrian, bicycle or equestrian trails, provided that the runoff from such trails is diverted away from the Wetland Areas or such runoff is directed to enter the Wetland Buffer Areas as unconcentrated flow.

3.4. Markers or posts in a form and design approved by the Village shall be installed by each Owner at one hundred foot (100') intervals delineating the boundaries of the Wetland Buffer Areas on his or her Lot. Each Owner shall maintain in good condition, repair and replace the wetlands markers or posts used to delineate the boundaries of the Wetland Buffer Areas on his or her Lot.

3.5. No Owner shall store or accumulate or burn leaves, twigs or other woody debris in any portion of the Wetland Buffer Areas or Wetland Areas. No Owner shall apply pesticides or herbicides in any portion of the Wetland Areas or Wetland Buffer Areas. Each Owner, by accepting title to his or her Lot, acknowledges that the intent of the restriction set forth in this Declaration against disturbing the soil in the Wetland Buffer Areas is for such areas to be left in an undeveloped and naturalistic state.

3.6. The intent of the layout of the Lots as shown in the Subdivision Plat is for storm water to be channeled into the Overland Drainage Routes over and across the surface of the Property. Storm water in the Overland Drainage Routes will flow naturally from one Lot to the next Lot, although there may be several different directions of flow onto and away from any one Lot, depending on the actual existing topography in the area to be drained. Except with the prior written approval of the Village, no structure, planting, or other material shall be placed or permitted to remain within the Overland Drainage Routes which may damage or interfere with the installation or performance of stormwater and drainage facilities, stormwater storage or floodplain elevations or which may change the direction or volume of flow of Overland Drainage Routes, or which may obstruct or retard the flow of water through Overland Drainage Routes. The determination of whether any structure, planting, or other material has been placed or permitted to remain within the Restricted Area in violation of the foregoing shall be made by the Village’s consulting civil engineer based upon the requirements of the Watershed Development Ordinance. No Owner shall alter the rate or direction of flow of water from and/or to any Lot by impounding water or changing the grade of, blocking or redirecting swales, ditches, drainage areas or other portions of Overland Drainage Routes. The grades to be maintained with respect to Overland Drainage Routes shall be measured with reference to the final, as-built site development plans prepared by Bleck Engineering Company, Inc., and approved by the Village, and, in the event of any dispute, the determination of the Village’s consulting civil engineer shall be binding on each Owner. Each Owner

acknowledges, by acceptance of a deed to a Lot, that the duty to avoid impeding or interfering in any manner with the Overland Drainage Routes is for the benefit of the entire Property. Each Owner, at such Owner's expense, shall continuously maintain and repair the Overland Drainage Routes on such Owner's Lot in the condition required by this Declaration.

3.7. No plants or seeds or other conditions, harboring or breeding infectious plant diseases or noxious insects shall be introduced or suffered to exist upon any part of a Lot. With respect to the areas of any Lot that fall outside of the Wetland Areas and Wetland Buffers Areas and that are planted with turfgrass or other landscaping, no Owner shall apply pesticides, herbicides or other chemical or biological substances to such areas that are harmful to the natural physical and biological characteristics and functions of the Wetland Areas and Wetland Buffer Areas. In case of any dispute concerning the appropriateness of any pesticides, herbicides or other substances, the determination of the Village shall be conclusive.

3.8. No Person shall accumulate on his Lot any derelict vehicles, litter, refuse or other unsightly materials. Garbage shall be placed in receptacles and all garbage receptacles shall be properly screened. Each Owner shall take steps to minimize any garbage, litter or other refuse from falling or blowing into the Overland Drainage Routes Wetland Buffer Areas and Wetland Areas.

ARTICLE IV Easements

4.1. Easements for the drainage of water for the benefit of the Property and the individual Lots are hereby declared over, under and upon those portions of the Property and each Lot thereof that are Overland Drainage Routes (whether or not such routes are so designated for such purpose on the Subdivision Plat). Any such Overland Drainage Routes may be reshaped, altered or relocated in the future only with the consent of the affected Owners and the Village. Such reshaping, alteration or relocation shall be evidenced by the execution and Recording by the affected Owners and the Village of an amended or supplementary plat or easement indicating same.

4.2. In an Emergency Situation, each Owner and their respective agents, employees and independent contractors shall have the right to enter upon the Property and any Lot (excluding any Dwelling thereon) to the extent reasonably necessary for the purpose of maintaining, repairing and replacing any natural or artificial features of the Overland Drainage Routes in, on, under or upon the Lots as herein provided. In any such case, the Owner undertaking such repair, maintenance, repair and replacement and his respective agents, employees or independent contractors shall not be guilty of any trespass.

4.3. The Village and other governmental authorities having jurisdiction over all or a portion of the Property, and their police, fire, ambulance, water, health, hazardous waste removal and other authorized officials, employees, agents, contractors and vehicles are hereby granted non-exclusive, perpetual easements of access over, across and through the Property (excluding any Dwellings) to enforce Village ordinances, rules and regulations and furnish municipal, governmental or emergency services, including, but not limited to, the right to install, operate, inspect, maintain, remove, repair and reconstruct from time to time all Village-owned facilities, such as pipelines, conduits, manholes and other attachments, connections and fixtures, used in the operation of the water distribution system and sanitary sewer system serving the Property. The Village and its authorized officials, employees, agents and contractors are further granted a non-exclusive, perpetual easement for access over, across and through the Parcel (excluding any Dwellings) for the purpose of exercising the rights and powers granted to the Village under this Declaration, and other applicable law or Village ordinances, including, but not limited to, the right to inspect, maintain, repair and replace any natural or artificial features of the Overland Drainage Routes serving the Property.

ARTICLE V Remedies of Owners

5.1 The Owner, for each Lot, hereby covenants, and each Owner by acceptance of a deed therefor, whether or not it shall be so expressed in any such deed or other conveyance, shall be and is deemed to covenant and hereby agrees to pay for such Owner's charges for all needed maintenance, repair or replacement of any natural or artificial features of the Overland Drainage Routes on such Owner's Lot.

5.2 Each Owner from time to time shall have the right jointly and separately to sue for and obtain a prohibitive or mandatory injunction to prevent the breach of, or to enforce the observance of, the covenants and obligations above set forth, or any of them, in addition to the right to bring a legal action for damages.

ARTICLE VI Village Rights; Indemnification

6.1 A. Notwithstanding any other provisions herein to the contrary, in the event that the Village determines, in its judgment, that a Defaulting Owner has failed to comply with the provisions of this Declaration, the Village shall have the right (but not the duty) to give the violating party written notice of such non-compliance and to enforce this Declaration in accordance with the Watershed Development Ordinance and as a violation of the Riverwoods Village Code. If the non-compliance is not cured to the satisfaction of the Village within thirty (30) days after the giving of any such notice (or within a shorter period of time specified by the Village if an emergency threatens life or substantial property damage), then the Village will have the right (but not the duty) to either do one or both of the following: (i) bring one or more suits against the Defaulting Owner to enforce

the provisions hereof, or (ii) come upon the portion of the Property which it deems not to comply with the requirements hereof and take such corrective action as it deems to be necessary or appropriate.

B. If the Village exercises its rights to correct any non-compliance with the provisions of this Declaration, the Defaulting Owner (or the Defaulting Owners severally) shall be responsible for paying all costs and expenses (including, but not limited to, reasonable engineer's, attorneys' and other consultants' fees) incurred by the Village to remedy the condition upon receipt of an invoice therefor. If such invoice is not paid within thirty (30) days after receipt thereof, then the amount so invoiced shall bear interest at the rate of eighteen percent (18%) per annum from the due date to the date when paid and the amount of the invoice, plus interest and the costs of collection (including engineers', attorneys' and other Village consultants' fees), shall become a lien upon the Owner's Lot. Such lien shall arise immediately upon the recording of a notice by the Village with the recorder of deeds for Lake County, Illinois and may be enforced by a proceeding in equity to foreclose such lien in like manner as a mortgage of real property in the State of Illinois or by any other remedy available by statute or at law or in equity. Such lien shall continue in full force and effect until such sum of money and any accrued interest thereon shall have been paid in full or the performance demanded of the Defaulting Owner has been completed.

C. The liens provided for in this Section 6.1 shall be subordinate to any first mortgage, first trust deed or other encumbrance constituting a first lien on the Lot owned by the Defaulting Owner which was recorded prior to the date that any such amounts to the Village became due. Each Defaulting Owner waives any and all rights to trial by jury in any suit, action or proceeding brought by the Village to enforce collection of any monies owed under this Declaration to the Village. Upon the Village's receipt of reimbursement for its costs and expenses, the Village shall promptly execute, acknowledge and deliver any releases of lien as may be required to release any claim of lien that may have been placed of record.

6.2 The Village shall be under no obligation to exercise the rights granted in this Declaration except as it shall determine to be in the best interest of the Village (including, but not limited to, the Property). No failure to exercise any right herein granted to the Village shall be construed as a waiver of that or any other right, and any rights of the Village under any applicable law shall be in addition to any rights set forth herein.

6.3 Nothing in this Declaration shall be construed to constitute a dedication of any portion of the Property to, or an acceptance thereof, by the Village. At no time shall the Village be under any obligation to provide maintenance for the Overland Drainage Routes, the Wetland Areas or Wetland Buffer Areas.

6.4 No restriction contained in this Declaration shall be deemed to have been abrogated or waived by reason of any failure on the part of the Village or any other Owner

to enforce the same, irrespective of the number of violations or breaches which may occur.

6.5 To the extent permitted by law, the Owners hereby agree to indemnify, hold harmless (and, if required hereunder, defend) the Village, its elected and appointed officials, officers, boards, commissions, attorneys, employees, agents and contractors, and their respective heirs, executors, administrators and successors, (each party in such capacity, the "Indemnified Party") from and against any all claims against the Indemnified Parties for losses, liabilities, damages, judgments, costs and expenses and any actions or proceedings arising therefrom, by or on behalf of any person, firm, corporation or governmental authority, other than the Indemnified Party, arising from the acts or omissions of the Owners with respect to the maintenance, repair and replacement of the Overland Drainage Routes, and from and against all costs, attorney's fees, expenses and liabilities incurred with respect to any such claim, action or proceeding arising therefrom. In case any action or proceeding is brought against the Indemnified Party by reason of any such claim, the Indemnifying Owner, upon notice from the Indemnified Party, covenants to resist or defend such action or proceeding with attorneys reasonably satisfactory to the Indemnified Party and to pay all reasonable fees and expenses of such counsel. Any counsel for the insurance company providing insurance against such claim, action or proceeding shall be presumed reasonably satisfactory to the Indemnified Party. The Indemnified Party shall have the right to employ separate counsel in any such actions brought against the Indemnified Party, and the fees and expenses of such counsel shall be paid by the Indemnifying Owner.

6.6 In the event of any dispute or disagreement between the Village and any Owners relating to the Overland Drainage Routes or any question of interpretation or application of the provisions of this Declaration, the determination thereof by the Village Board of Trustees shall be binding and final as to each of said Owners.

ARTICLE VII General Provisions

7.1 The covenants and restrictions of this Declaration shall run with the land, and shall inure to the benefit of and be enforceable by the Board, or the Owner of any Lot subject to this Declaration, their respective legal representatives, heirs, successors, and assigns, for a term of forty (40) years from the date this Declaration is recorded in the Office of the Recorder of Deeds of Lake County, Illinois, after which time said covenants shall be automatically extended for successive periods of ten (10) years, subject to amendment as herein provided.

7.2 If and to the extent that any of the covenants would otherwise be unlawful or void for violation of (a) the rule against perpetuities, (b) the rule restricting restraints on alienation, or (c) any other applicable statute or common law rule analogous thereto or otherwise imposing limitations upon the time during which such covenants may be valid,

then said covenant shall continue and endure only until the expiration of twenty-one (21) years after the death of the last to survive of the class of persons consisting of all of the lawful descendants of the President of the United States, living at the date of this Declaration.

7.3 Each grantee of Declarant by taking title to a Lot, and each purchaser under any contract for a deed of conveyance pursuant to which said grantee will take title, accepts said title subject to all restrictions, conditions, covenants, reservations, liens and charges, and the jurisdiction, rights and powers created or reserved by this Declaration, and all rights, benefits and privileges of every character hereby granted, created, reserved or declared, and all impositions and obligations hereby imposed shall be deemed and taken to be covenants running with the land, and shall bind any person having at any time any interest or estate in said land, and shall inure to the benefit of such person in like manner as though the provisions of this Declaration were recited and stipulated at length in each and every deed of conveyance, or in any mortgage or trust deed or other evidence of obligation, and the rights described in this Section 7.3 or described in any other part of this Declaration shall be sufficient to create and reserve such rights to the respective grantees, mortgagees and trustees of such Lot as fully and completely as though such rights were recited fully and set forth in their entirety in any such documents.

7.4 Subject to obtaining the formal consent of the Village (for purposes hereof, formal consent of the Village to any amendment desired by the Owners shall be in the form of a resolution duly adopted by the President and Board of Trustees of the Village), the Owners may revoke, modify, amend or supplement in whole or in part any or all of the covenants, obligations and conditions contained in this Declaration and may release all or any part of the Property from all or any part of this Declaration. Any such revocation, modification, amendment or supplement may be made effective at any time provided the Village and the Owners of at least two-thirds (2/3) of the Lots consent thereto. Any such revocations, modifications, amendments or supplements shall be effective only if expressed in a written instrument or instruments executed and acknowledged by each of the consenting Owners, and recorded in the Office of the Recorder of Deeds of Lake County, Illinois.

7.5 The provisions of this Declaration shall be liberally construed to effectuate the purpose of creating a uniform plan for development for the Property.

7.6 In the event title to any Lot is conveyed to a title holding trust, under the terms of which all powers of management, operation and control of the Lot remain vested in the trust beneficiary or beneficiaries, then the beneficiaries thereunder from time to time shall be responsible for payment of all obligations, liens or indebtedness and for the performance of all agreements, covenants, obligations and undertakings chargeable or created under this Declaration against any such Lot. No claim shall be made against any such title holding trustee personally for payment of any lien or, obligation hereunder created and the trustee shall not be obligated to sequester funds or trust property to apply,

in whole or in part, against such lien or obligation. The amount of such lien or obligation shall continue to be a charge or lien upon said Lot and the beneficiaries of such trust, notwithstanding any transfers of the beneficial interest of any such trust or any transfers of title to any such Lot.

7.7 All headings set forth herein are intended for convenience only and shall not be given or construed to have any substantive effect on the provisions of this Declaration. The singular shall include the plural wherever the Declaration so requires, and the masculine the feminine and neuter and vice versa.

7.8 If a court of competent jurisdiction shall hold invalid or unenforceable any part of this Declaration, such holding shall not impair, invalidate or otherwise affect the remainder of this Declaration which shall remain in full force and effect.

7.9 Each Owner of a Lot shall file the correct mailing address of such Owner with the Village and shall notify the Village promptly in writing of any subsequent change of address; provided, however, that if any Owner shall fail to so notify the Village the mailing address for such Owner shall be the street address of the Lot owned by such Owner. The Village shall maintain a file of such addresses. A written or printed notice, sent by United States certified or registered mail, return receipt requested, postage prepaid, and addressed to any Owner at the last address filed by such Owner with the Village shall be sufficient and proper notice to such Owner and shall be deemed delivered on the fifth (5th) day after deposit in the United States mails.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, Declarant has caused its name to be signed to this Declaration by its President, as of the day and year first above written.

By: _____

STATE OF ILLINOIS)
) SS.
COUNTY OF LAKE)

I, _____, a Notary Public in and for the County in the State aforesaid, DO HEREBY CERTIFY that Neil Fortunato, the President of Green Building Technologies, Inc., an Illinois corporation, who is personally known to me to be the same person whose name is subscribed to the foregoing instrument as such Manager, appeared before me this day in person and acknowledged that he signed and delivered said instrument as his own free and voluntary act and as the free and voluntary act of said Company for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this ____ day of _____, 2023.

Notary Public

CONSENT OF MORTGAGEE

_____ ("Bank"), holder of a _____ (the "Mortgage") dated as of _____, 20__, and recorded in the office of the Recorder of Deeds of _____ County, Illinois, on _____, 20__, as Document Number _____, hereby consents to the execution and recording of the attached _____ Declaration of Covenants, Conditions and Restrictions and Easements and agrees that said Mortgage is subject thereto.

IN WITNESS WHEREOF, said _____ has caused this Consent of Mortgagee to be signed by its duly authorized officers on its behalf in _____, Illinois, on this ____ day of _____, 2023.

By: _____
President

ATTEST:

STATE OF ILLINOIS)
) SS.
COUNTY OF _____)

I, _____, a Notary Public in and for said County and State, do hereby certify that _____ and _____, _____ President and _____, _____, respectively, of _____, as such _____ President and _____, appeared before me this day in person and acknowledged that they signed, sealed and delivered said instrument as their free and voluntary act, and as the free and voluntary act of said Company, for the uses and purposes therein set forth.

Given under my hand and notarial seal this _____ day of _____, 2005.

Notary Public

EXHIBIT A

LEGAL DESCRIPTION OF PROPERTY

LOTS 1, 2, AND 3 IN GREEN BUILDING TECHNOLOGIES SUBDIVISION, BEING A SUBDIVISION IN THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 30. TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN IN LAKE COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT _____ IN LAKE COUNTY, ILLINOIS.

FINAL ENGINEERING

GREEN BUILDING TECHNOLOGIES SUBDIVISION

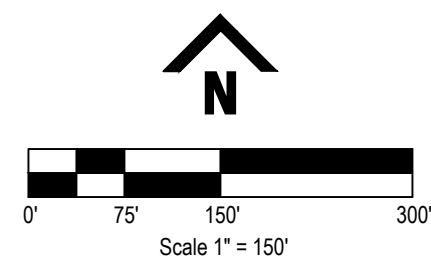
1400 SAUNDERS ROAD, RIVERWOODS, IL 60015



LEGEND

	Silt Fence		Existing Inlet		Handhole
	Tree Preservation Fence		Inlet to be ADJUSTED		Telephone Handhole
	Existing Property Line		Inlet to be RECONSTRUCTED		Electric Handhole
	PROPOSED CURB IMPROVEMENT & STATION		Inlet to be REMOVED		Transformer
	Existing Curb and Gutter		PROPOSED INLET with Structure Number		Gas Meter
	PROPOSED CONCRETE CURB		Existing Catch Basin		Garbage Bin
	Edge of Existing Traveled Way		Catch Basin to be ADJUSTED		Bench
	Pavement Replacement		Catch Basin to be RECONSTRUCTED		Windsock
	PROPOSED SIDEWALK		Catch Basin to be REMOVED		Runway Light
	Metal Fence		PROPOSED CATCH BASIN with Structure Number		Callphone Tower
	Wood Fence		Existing Manhole		Sign on Post
	Section Line		Manhole to be ADJUSTED with Type Casing Shown		Monument / Directional Sign
	Gas Main		Manhole to be RECONSTRUCTED		Parking Gate
	Water Main		Manhole to be REMOVED		ID Card Reader
	PROPOSED WATER MAIN		PROPOSED MANHOLE with Structure Number		Emergency Phone
	Oxygen Line		Existing Flared End Section		Security Camera
	Chilled Water Supply Line		PROPOSED FLARED END SECTION with Structure Number		Horizontal & Vertical Control
	Chilled Water Return Line		Existing Cleanout		Cast Iron ADA Tile
	Steam Supply Line		Existing Fire Hydrant		Spot Elevation
	Condensate Return Line		PROPOSED FIRE HYDRANT		Existing Deciduous Tree w/ Tag Number
	Communications Cable		PROPOSED CURB STOP & BOX		Existing Deciduous Tree to be Removed
	Fiber Optic Cable		PROPOSED VALVE & CAST IRON BOX		Existing Coniferous Tree w/ Tag Number
	Security Cable		Existing Valve & Box		Existing Coniferous Tree to be Removed
	Underground Electric Cable		Existing Valve and Vault		Wetlands
	Overhead Electric Cable		PROPOSED VALVE & VAULT		Hedge
	Electric Cable		Existing Valve and Vault to be REMOVED		Landscape Bed Line
	Street Lighting Cable		Existing Domestic Meter Vault		
	Existing 6" PVC Underdrain		PROPOSED DOMESTIC METER VAULT		
	Existing Storm Sewer		Existing Domestic Meter Vault to be REMOVED		
	PROPOSED STORM SEWER		Curb Stop & Box		
	Force Main Sewer		Power Pole		
	Sanitary Sewer		Telephone Pole		
	PROPOSED SANITARY SEWER		Street Light		
	Existing Minor Contour		Sign Light		
	Existing Major Contour		Bollard		
	PROPOSED MINOR CONTOUR		Bollard with Light		
	PROPOSED MAJOR CONTOUR		Traffic Signal		
			Traffic Signal Control Box		

NOTE: FOR ADDITIONAL STANDARD SYMBOLS AND ABBREVIATIONS USED THROUGHOUT THESE PLANS, SEE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD 000001-03 (LOCATED ON C906)



W 1/2 NE 1/4 SEC 30 T43N R12E 3RD PM
N 42° 10' 40" W 87° 52' 56"
PROPERTY INDEX NO. 1630100005

J.U.I.L.E. - ILLINOIS ONE CALL SYSTEM - CALL 811

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300 PORTWINE ROAD
RIVERWOODS, IL 60015
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ROBERT KOLLAR, ENGINEER
1500 FRANKLIN BOULEVARD
LIBERTYVILLE, IL 60048
847.204.2859

NORTH SHORE GAS
(NATURAL GAS)
JAY HAMMER
3001 GRAND AVENUE
WAUKEGAN, IL 60085
847.263.46478

AT&T
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BRUCE BROWN
1000 COMMERCE DRIVE, FLOOR 2
OAKBROOK, IL 60523
630.573.5715

COMCAST CABLE
(TELECOMMUNICATIONS)
ROBERT SCHULTER
688 INDUSTRIAL DRIVE
ELMHURST, IL 60126
630.600.6347

FOR LOCATION OF UNDERGROUND UTILITIES CONTACT:
(ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE)

BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 W bleckeng.com

1400 Saunders
Road
Riverwoods, IL

BENCHMARKS:
BM: NE BOLT ON FIRE HYDRANT ON
EAST SIDE SAUNDERS AT 1407
SAUNDERS ROAD
ELEV. 670.20

BM: SAN MH RIM SE CORNER
SAUNDERS AND E COURSE DRIVE ON
S SIDE E COURSE APPROX. 60 E OF
CL SAUNDERS ROAD
ELEV 666.92

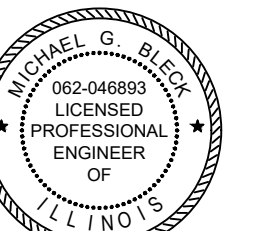
ISSUED DATE	ISSUED FOR
06.09.2023	Bid & Permit
06.20.2023	Woodland Plan/Wetland
07.12.2023	Welland Review

SHEET LIST

- COVER SHEET
- GENERAL NOTES
- EXISTING CONDITIONS
- TREE INVENTORY
- OVERALL PLAN
- SITE DEVELOPMENT PLAN LOT 3
- WOODLAND / TREE PROTECTION & LANDSCAPE PLAN
- CONCEPTUAL SITE DEVELOPMENT PLAN LOT 2
- CONCEPTUAL SITE DEVELOPMENT PLAN LOT 1
- DETAILS / CERTIFICATES
- DETAILS
- DETAILS

PROFESSIONAL SEAL

"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."



Michael G. Bleck
Michael G. Bleck, PE 06.09.2023

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GREEN BUILDING TECHNOLOGIES
332 N Deere Park W
Highland Park, IL 60035

95-048 Project No.
MGB Drawn By

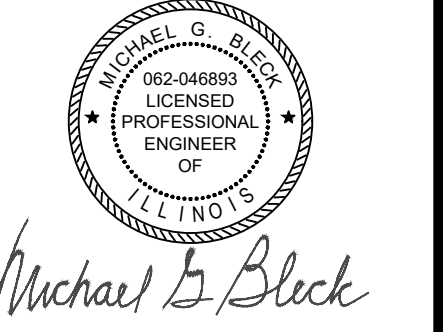
Checked By Checked By

Drawing No. **1**

Drawing Name **Cover**

ISSUED DATE	ISSUED FOR
06.09.2023	Bid & Permit
06.20.2023	Woodland Plan/Wetland
07.12.2023	Wetland Review

PROFESSIONAL SEAL
 "To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."



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GREEN BUILDING TECHNOLOGIES	
332 N Deere Park W Highland Park, Illinois 60035	
95-048	Project No.
MGB	Drawn By
Checked By	Checked By

Drawing No.

GENERAL NOTES:

SPECIFICATIONS, STANDARDS, AND SPECIAL PROVISIONS

- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" ADOPTED APRIL 1, 2022; THE "SUPPLEMENTAL SPECIFICATIONS FOR RECURRING SPECIAL PROVISIONS" ADOPTED JANUARY 1, 2022; THE LATEST EDITION OF THE "ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (MUTO); THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" PUBLISHED JANUARY 2020, EIGHTH EDITION; ILLINOIS URBAN MANUAL, CURRENT EDITION; THE "DETAILS" IN THE PLANS AND THE "SPECIAL PROVISIONS" INCLUDED IN THE CONTRACT DOCUMENTS, AND THE VILLAGE OF RIVERWOODS ENGINEERING & CONSTRUCTION STANDARDS.
 - IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITE WORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
 - ANY REFERENCE TO THE STANDARD THROUGHOUT THE PLANS OR SPECIAL PROVISIONS SHALL BE INTERPRETED AS THE LATEST IDOT STANDARD.
 - ALL TRAFFIC CONTROL AND OTHER ADVISORY SIGNS NEEDED FOR CONSTRUCTION ARE TO BE FURNISHED BY THE CONTRACTOR IN ACCORDANCE WITH SECTION 700 OF THE STANDARD SPECIFICATIONS.
 - THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS BLECK ENGINEERING COMPANY, INCORPORATED, THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS, AND THE OWNER WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.
- UTILITIES**
- BEFORE STARTING EXCAVATION, THE CONTRACTOR SHALL CALL "U.U.L.I.E." AT 811-892-0123 FOR FIELD LOCATIONS OF BURIED UTILITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE OWNERS OF THE EXISTING FACILITIES SO THAT UTILITIES AND THEIR APPURTENANCES MAY BE LOCATED AND ADJUSTED OR MOVED, IF NECESSARY, PRIOR TO THE START OF CONSTRUCTION OPERATION. THE CONTRACTOR SHALL COOPERATE WITH ALL UTILITY OWNERS AS AS PROVIDED FOR IN THE STANDARD SPECIFICATIONS.
 - THE APPROXIMATE LOCATIONS OF THE EXISTING UTILITIES ARE SHOWN ON THE DRAWINGS ACCORDING TO THE INFORMATION OBTAINED FROM THE UTILITY COMPANIES AND SURVEYS. HOWEVER, THE ENGINEER DOES NOT GUARANTEE THE COMPLETENESS OR ACCURACY OF THE INFORMATION REGARDING UTILITIES, EITHER PUBLIC OR PRIVATE SUCH AS SEWER, GAS, WATER MAINS, TELEPHONE AND ELECTRICAL DUCT LINES, MANHOLES, CATCH BASINS AND SIMILAR STRUCTURES. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION OPERATIONS AND REPORT TO THE ENGINEER OMISSIONS AND DIFFERENCES FROM THE LOCATIONS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH ARE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND UTILITIES OR SURFACE UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THESE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ENGINEER, AND THE UTILITY OWNER. THE CONTRACTOR SHALL RESTORE SUCH PROPERTY AT HIS OWN EXPENSE.
 - THE CONTRACTOR SHALL VERIFY THE SIZE AND INVERT ELEVATIONS OF ALL CONNECTIONS TO AVOID ANY CONFLICTS BEFORE STARTING WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES. ANY MODIFICATIONS TO THE STRUCTURES DUE TO FAILURE OF THE CONTRACTOR TO PERFORM THIS TASK SHALL BE AT THE CONTRACTOR'S EXPENSE AND MAY LEAD TO THE REJECTION OF THE STRUCTURE IN THE FIELD IF THE MODIFICATION IS NOT APPROVED BY THE ENGINEER.
 - IF DURING CONSTRUCTION THE CONTRACTOR ENCOUNTERS OR OTHERWISE BECOMES AWARE OF ANY SEWERS OR UNDERDRAINS WITHIN THE PROJECT AREA OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL INFORM THE ENGINEER, WHO SHALL DIRECT THE WORK AS NECESSARY TO MAINTAIN OR REPLACE THE FACILITIES IN SERVICE AND TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION IF MAINTAINED. EXISTING FACILITIES THAT ARE DAMAGED SHALL BE REPLACED AT THE CONTRACTOR'S OWN EXPENSE. SHOULD THE ENGINEER DIRECT REPAIRS TO THE LOCATIONS SHOWN ON THE DRAWINGS, THE NECESSARY WORK AND PAYMENT SHALL BE ACCORDING TO SECTIONS 550 AND 601, AND ARTICLE 104.02 OF THE STANDARD SPECIFICATIONS
 - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR ON-SITE DRAINAGE PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT.
 - FLAT TOPS AND CONES FOR STRUCTURES SHALL BE TURNED SO THAT THE FRAME IS CLOSEST TO THE CENTERLINE OF PAVEMENT, UNLESS OTHERWISE NOTED ON THE PLAN. ALL FLAT TOPS AND CONES ARE ASSUMED TO BE ECCENTRIC.
 - FRAME ELEVATIONS GIVEN ON THE PLANS ARE ONLY TO ASSIST THE CONTRACTOR IN DETERMINING THE APPROXIMATE OVERALL HEIGHT OF THE STRUCTURE. FRAMES ON ALL NEW, ADJUSTED OR RECONSTRUCTED STRUCTURES WILL BE ADJUSTED TO THE FINAL ELEVATION OF THE AREA IN WHICH THEY ARE LOCATED AS PART OF THE STRUCTURE, ADJUSTMENT OR RECONSTRUCTION COST.
 - ALL FRAMES SHALL SIT DIRECTLY ABOVE THE ADJUSTING RINGS OR FLAT TOP. OFFSET FRAMES WILL NOT BE PERMITTED.
 - ALL TRENCH AND CONSTRUCTION OPENINGS EXTENDING BELOW THE PAVEMENT SUBGRADE SHALL BE FENCED OFF WITH AN ADEQUATELY SUPPORTED FOUR (4) FEET HIGH FENCE AT ALL TIMES WHEN ACTUAL CONSTRUCTION IS NOT IN PROGRESS AT THE OPENING LOCATION. COST DUE TO THIS REQUIREMENT SHALL BE INCIDENTAL TO THE CONTRACT. ALL TRENCH AND CONSTRUCTION OPENINGS SHALL COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT.
 - TRENCH BACKFILL REQUIREMENT: GRANULAR TRENCH SHALL BE INSTALLED FOR ALL NEW CITY MAIN UTILITY INSTALLATIONS UNDER AND WITHIN THREE (3) FEET OF ALL PROPOSED OR EXISTING PAVEMENTS OR WALKWAYS. GRANULAR TRENCH BACKFILL SHALL CONFORM TO FA-6 OR CA-6 COMPACTED AT 95% STANDARD DENSITY IN ACCORDANCE WITH ASTM D698. TRENCH BACKFILL SHALL BE CONSIDERED INCIDENTAL TO PIPE INSTALLATION. FOR ALL SERVICE CONNECTIONS, UTILITY CROSSINGS, AND SERVICE LINES, CONTROLLED LOW STRENGTH MATERIAL, IOT MIX 1 (FLOWABLE FILL) SHALL BE USED IN LIEU OF GRANULAR FILL. CONTRACTOR MUST CALL FOR AN INSPECTION PRIOR TO PLACING FLOWABLE FILL AND PRIOR TO PLACING PAVEMENT.
 - ANY PROPOSED UTILITY TRENCH SHOWN WITHIN THE PLANS THAT RUNS UNDER EXISTING PAVEMENT THAT IS TO REMAIN SHALL HAVE A PAVEMENT PATCH EQUAL TO THE PROPOSED PAVEMENT CROSS SECTION.
 - TEMPORARY SHEETING OR BRACING FOR SEWER TRENCHES THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PROPOSED DRAINAGE AND/OR UTILITY UNIT PRICE AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
 - UNDERGROUND WORK SHALL INCLUDE THE TRENCHING, DEWATERING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION, AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS. FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED BUT SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE CONTRACT.
 - COUPLINGS USED FOR CONNECTIONS OF NEW PIPE TO EXISTING PIPE AND WHERE DISSIMILAR PIPE AND JOINT MATERIALS ARE ENCOUNTERED SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. NO STAINLESS STEEL SHEAR RINGS WILL BE ALLOWED. THIS WORK WILL NOT BE PAID FOR SEPARATELY, BUT SHALL BE INCLUDED IN THE COST OF THE SEWER BEING INSTALLED.
 - MACHINE CORE ALL PROPOSED CONNECTIONS TO EXISTING STRUCTURES USING A CORE DRILL, HAMMERING OR SAWING OF STRUCTURES WILL NOT BE PERMITTED.
 - WHenever DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS DEPOSITED IN THE FLOW LINE OF DRAINAGE STRUCTURES SUCH THAT THE NATURAL FLOW OF WATER IS OBSTRUCTED, IT SHALL BE REMOVED AT THE CLOSE OF EACH WORK DAY. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL UTILITY STRUCTURES SHALL BE FREE FROM DIRT AND DEBRIS. THE WORK SPECIFIED ABOVE WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE COST OF VARIOUS UNIT PRICES BID.
 - AT THE CLOSE OF EACH WORK DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
 - ANY EXISTING OR PROPOSED STORM SEWER DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
 - THE CONTRACTOR SHALL CLEAN OUT THE SUMPS OF ALL EXISTING AND PROPOSED STORM STRUCTURES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF CONSTRUCTION OPERATIONS.
 - THE CONTRACTOR SHALL NOT OPEN OR SHUT ANY WATER VALVES OR FIRE HYDRANTS WITHOUT PRIOR AUTHORIZATION FROM CITY OF LAKE FOREST. UNAUTHORIZED USE SHALL SUBJECT THE OFFENDER TO ARREST AND PROSECUTION.
 - ALL WATERMAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 5.5' FROM TOP OF FINISHED GROUND ELEVATION TO THE TOP OF MAIN.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING, IN THE FIELD, PRIOR TO THE DRILLING OR EXCAVATING THAT PROPOSED STREET LIGHTING POLE FOUNDATION LOCATIONS ARE NOT IN CONFLICT WITH ANY DRAINAGE FEATURES AND EXISTING UTILITIES. ANY POTENTIAL CONFLICTS DISCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.

MISCELLANEOUS

- NOTIFICATION OF WORK: THE CONTRACTOR SHALL NOTIFY BLECK ENGINEERING COMPANY, THE OWNER, AND VILLAGE OF RIVERWOODS 48 HOURS PRIOR TO THE START OF CONSTRUCTION AND NORTH SHORE WATER RECLAMATION DISTRICT A MINIMUM OF 24 HOURS BEFORE ANY WORK RELATED TO SANITARY SEWERS IS PERFORMED. THE CONTRACTOR SHALL NOTIFY THE LAKE COUNTY STORM WATER MANAGEMENT COMMISSION, US ARMY CORPS OF ENGINEERS AND/OR ANY OTHER GOVERNMENT AGENCIES WHICH ISSUES PERMITS PER WORK WITHIN THE DESIGNATED WETLANDS.
 - NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE. ALL EXCESS MATERIAL SHALL BE DISPOSED OF ON THE DAY IT IS EXCAVATED OR REMOVED. ALL EXCESS OR WASTE MATERIAL SHALL BE HAULED AWAY FROM THE PROJECT SITE BY THE CONTRACTOR AND LEGALLY DISPOSED OF. NO EXTRA COMPENSATION WILL BE ALLOWED FOR ANY EXPENSE INCURRED FOR THE CONTRACTOR TO COMPLY WITH THE REQUIREMENT.
 - POLLUTION CONTROL: THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH STATE REGULATIONS REGARDING AIR, WATER, AND NOISE POLLUTION. CONSTRUCTION OPERATIONS SHALL BE CONFINED TO THE PERIOD BEGINNING 7:00 A.M. AND ENDING AT 7:00 P.M. WEEKDAYS. THE CONTRACTOR MAY WORK ON SATURDAYS AND LEGAL HOLIDAYS WITH WRITTEN PERMISSION FROM THE CITY SURVEYOR AND ENGINEER. APPROVED SATURDAY WORK SHALL BE FROM 8:00 A.M. TO 8:00 P.M. SATURDAYS, AND NO WORK SHALL BE PERFORMED ON SUNDAYS. A REQUEST FOR SATURDAY AND HOLIDAY WORK SHALL BE MADE AT A MINIMUM OF 48 HOURS PRIOR TO THE DATE REQUESTED. CONSTRUCTION OPERATIONS ARE IDENTIFIED AS THE OPERATION OF HEAVY EQUIPMENT, TO INCLUDE, BUT NOT LIMITED TO, ALL CONSTRUCTION TRUCKS AND EQUIPMENT. THIS IS TO INCLUDE THE WARMING UP OF ANY PIECE OF EQUIPMENT OR TURNING ON ENGINES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND COMPARE TO THE SITE CONDITIONS AS THOSE INDICATED ON THE DRAWINGS.
 - ALL AREAS IN OR OUTSIDE THE PROJECT LIMITS, DISTURBED DURING CONSTRUCTION OPERATIONS AND NOT PART OF THE WORK AS SHOWN HEREON SHALL BE RESTORED TO ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER AND ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
 - USE OF CCDD FILL OPERATIONS: IF THE CONTRACTOR CHOOSES TO DISPOSE OF UNCONTAMINATED SOIL OR UNCONTAMINATED SOIL MIXED WITH CLEAN CONSTRUCTION AND DEMOLITION DEBRIS (CCDD) AT A CCDD FILL OPERATION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL NECESSARY FIELD TESTS AND LABORATORY ANALYSIS AND OBTAIN THE LICENSED PROFESSIONAL ENGINEER'S CERTIFICATION REQUIRED AS PER PUBLIC ACT 96-1416 TO USE THE SITE. NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
 - ALL SUITABLE EXCESS MATERIAL FROM SEWER TRENCHES, PARKING LOTS, ROADWAYS, OR OTHER NECESSARY EXCAVATION SHALL BE USED IN THE CONSTRUCTION OF THE NEW ROADWAYS AND PARKING LOTS, PLACEMENT AND COMPACTION OF THE MATERIAL SHALL BE INCLUDED IN THE COST OF EARTH EXCAVATION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
 - NO UNDERGROUND WORK SHALL BE BACKFILL UNLESS IT HAS BEEN APPROVED BY THE ENGINEER. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE ENGINEER PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE AND PRIOR TO PLACING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
 - THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ANY ADJACENT PROJECTS THAT ARE OR MAY BE UNDER CONSTRUCTION.
 - THE CONTRACTOR SHALL COORDINATE CONSTRUCTION OPERATIONS TO INSURE TRAFFIC MAINTENANCE, SURFACE DRAINAGE, ETC. THROUGHOUT THE DURATION OF THE CONSTRUCTION PERIOD IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING AGENCIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES, AND WARNING DEVICES FOR BOTH VEHICULAR AND PEDESTRIAN TRAFFIC, TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION.
 - THE CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF ALL THE CONTRACTOR'S PERSONNEL EMPLOYED ON THE WORK SITE, AND SHALL MAINTAIN SAME IN PROPER SANITARY CONDITION. THE TEMPORARY TOILET FACILITIES SHALL INCLUDE HAND SANITIZING STATIONS. AT THE COMPLETION OF THE PROJECT, THE FACILITIES SHALL BE REMOVED AND THE PREMISES LEFT CLEAN. THE ENGINEER SHALL APPROVE THE LOCATION OF THE TEMPORARY TOILETS. THE CONST OF THIS WORK SHALL BE INCLUDED IN THE UNIT BID PRICES AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
 - THE CONTRACTOR SHALL PROVIDE A 24 HOUR EMERGENCY RESPONSE PLAN.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY ON THE JOB SITE.
 - ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) ARE HEREIN INCORPORATED BY REFERENCE.
 - THE CONTRACTOR'S ATTENTION IS CALLED TO THE FACT THAT SOME QUANTITIES ARE GIVEN IN THE SUMMARY FORM AND ON THE PLAN SHEETS. CARE SHOULD BE TAKEN TO AVOID DUPLICATION OF QUANTITIES.
 - ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF INITIAL ACCEPTANCE OF THE WORK BY THE OWNER AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE.
 - NO PERSON OR COMPANY MAY UTILIZE THE INFORMATION CONTAINED WITHIN THESE DRAWINGS WITHOUT APPROVAL FROM BLECK ENGINEERING COMPANY, INC. (BECO).
- PERMANENT SIGNAGE**
- THE CONTRACTOR WILL BE REQUIRED TO RELOCATE OR REMOVE AND REPLACE SIGNS WHICH INTERFERE WITH HIS/HER CONSTRUCTION OPERATIONS, AND TO TEMPORARILY RESET ALL SIGNS DURING CONSTRUCTION OPERATIONS. THIS WORK WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ALL WORK INVOLVING SIGNS SHALL BE GOVERNED BY THE FOLLOWING REQUIREMENTS.
 - SIGNS SHALL NOT BE MOVED UNTIL PROGRESS OF WORK NECESSITATES IT.
 - EVERY SIGN REMOVED MUST BE RE-ERECTED AT A TEMPORARY LOCATION IN A WORKMANLIKE MANNER AND BE MADE VISIBLE TO TRAFFIC FOR WHICH IT IS INTENDED. ALL SUCH SIGNS MUST BE MAINTAINED STRAIGHT AND CLEAN FOR THE DURATION OF THE TEMPORARY SETTING.
 - ALL SIGNS SHALL BE RE-ERECTED IN PERMANENT LOCATIONS AS THE ROADWAY OR PARKING LOT IS COMPLETED. HORIZONTAL LOCATION FROM THE EDGE OF PAVEMENT SHALL BE DESIGNATED BY THE ENGINEER.
 - ALL UNUSED SIGNS WILL BE RETURNED TO THE OWNER.
 - LONGER POSTS MAY BE REQUIRED AT SOME TEMPORARY OR PERMANENT SIGN LOCATIONS TO MAINTAIN PROPER SIGN ELEVATIONS.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE DESIGN TEAM FOR ALL PROPOSED SIGNS, SIGN BASES, SIGN POLES, AND ANY OTHER APPURTENANCES REQUIRED.
- PAVEMENT**
- THE CONTRACTOR SHALL NOT CROSS COMPLETED SURFACE COURSE, OR EXISTING PAVEMENT NOT SCHEDULED TO BE REMOVED, WITH CONSTRUCTION EQUIPMENT WHICH MAY DAMAGE THE PAVEMENT.
 - WHEN MILLED PAVEMENT IS OPEN TO TRAFFIC, THE MAXIMUM ELEVATION DIFFERENCE BETWEEN LANES, AT CONCRETE CURB AND GUTTER, OR EXISTING GROUND (SHOULDERS, ENTRANCES, ETC.) SHALL NOT EXCEED 1.5 INCHES. WITH WRITTEN APPROVAL FROM THE ENGINEER THE MAXIMUM ELEVATION DIFFERENCE MAY BE UP TO 3 INCHES IF THE EDGE OF MILLING IS SLOPED A MINIMUM 3:1 (H:V)
 - GENERALLY 10 FOOT TRANSITIONS SHALL BE USED TO MATH PROPOSED ITEMS TO EXISTING ITEMS IN THE FIELD, UNLESS OTHERWISE NOTED ON THE PLANS. THE TRANSITIONS SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE FOR THE PROPOSED ITEM OF WORK SPECIFIED.
 - ALL REFERENCES IN THE HIGHWAY STANDARDS AND STANDARD SPECIFICATIONS FOR REINFORCEMENT, DOWEL BARS, AND THE BARS IN PAVEMENT, SHOULDERS, CURB, GUTTER, COMBINATION CURB AND GUTTER, AND MEDIAN, AND CHAIR SUPPORTS SHALL BE EPOXY COATED, UNLESS OTHERWISE NOTED ON THE PLANS.
 - THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT, CONCRETE CURB & GUTTER, MEDIAN, HOT-MIX ASPHALT SHOULDER, SIDEWALK, AND/OR OTHER APPURTENANCES AS SHOWN ON THE PLANS, TO SEPARATE THE EXISTING MATERIAL TO BE REMOVED, BY MEANS OF AN APPROVED CONCRETE SAW TO A FULL DEPTH OF THE ITEM, AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE ENGINEER. THIS WORK SHALL BE INCLUDED IN THE COST OF THE ITEM BEING REMOVED, ANY ITEM REMOVED PRIOR TO SAW CUTTING WILL NOT BE MEASURED FOR PAYMENT. THE CONTRACTOR SHALL BE REQUIRED TO SAW VERTICAL CUTS SO AS TO FORM CLEAN VERTICAL JOINTS. SHOULD THE CONTRACTOR DEFACE ANY EDGE, A NEW SAWED JOINT SHALL BE PROVIDED AND ANY ADDITIONAL WORK, INCLUDING REMOVAL AND REPLACEMENT, SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
 - THE THICKNESS OF HOT MIX ASPHALT MIXTURES SHOWN IN THE PLANS ARE NOMINAL. DEVIATIONS MAY OCCUR DUE TO IRREGULARITIES IN THE SURFACES OR BASES ON WHICH THE HOT MIX ASPHALT MIXTURE ARE TO BE PLACED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING FRESH CONCRETE FROM DAMAGE AND VANDALISM. ANY DAMAGED OR VANDALIZED CONCRETE SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - WHERE NEW WORK MEETS EXISTING FEATURES TO REMAIN, FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH CONSTRUCTION, NOTIFY THE ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES.
 - STEEL PLATES SHALL BE USED ON OPEN ROADWAY CUTS WHEN ACTUAL CONSTRUCTION IS NOT IN PROGRESS AT THE OPENING LOCATIONS.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR TRAVERSE AND CONSTRUCTION JOINTS OF CONCRETE PAVEMENT.
 - ALL CONCRETE SHALL CONSIST OF PORTLAND CEMENT CONCRETE MEETING THE REQUIREMENTS OF SECTION 1020. ALL SIDEWALKS, CURBS, AND POST FOUNDATIONS SHALL BE CLASS S1 3,500 PSI @ 14 DAYS. ALL PLACEMENT SHALL BE CLASS PV TYPE III 3,500 PSI @ 14 DAYS. WHERE NOTED ON THE PLANS, HIGH EARLY CONCRETE SHALL BE CLASS PV TYPE III 3,500 PSI CONCRETE @ 3 DAYS. SUBMIT ALL CONCRETE MIX DESIGNS TO THE ENGINEER AND OWNER FOR APPROVAL. WHEN REQUIRED BY THE MUNICIPALITY, FLY-ASH SHALL NOT BE PERMITTED IN THE MIX DESIGN. SLUMP SHALL BE 2"-4" AND AIR ENTRAINMENT SHALL BE BETWEEN 5-8% UNLESS MODIFIED IN THE CONTRACT DOCUMENTS.
 - ALL PAVEMENT SUBGRADE SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY (ASTM D-1557). ALL SUBGRADE LAWN AREAS SHALL BE COMPACTED TO 90% MODIFIED PROCTOR DENSITY. ALL TOPSOIL AND SUBGRADE 6" BELOW TOPSOIL SHALL BE COMPACTED TO 80% STANDARD PROCTOR DENSITY (ASTM D-698).

WORK ZONE TRAFFIC CONTROL

WORK ZONE TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH SECTION 701 AND 702 OF THE STANDARD SPECIFICATIONS INSOFAR AS APPLICABLE, AND THE SPECIAL PROVISIONS PROVIDED HEREIN. THE CONTRACTOR SHALL OBTAIN, ERECT, MAINTAIN AND REMOVE ALL SIGNS, BARRICADES, FLAGGING AND OTHER TRAFFIC CONTROL DEVICES AS MAY BE NECESSARY FOR THE PURPOSE OF REGULATING, WARNING OR GUIDING TRAFFIC. PLACEMENT AND MAINTENANCE OF ALL TRAFFIC CONTROL DEVICES SHALL BE AS DIRECTED BY THE ENGINEER AND IN ACCORDANCE WITH THE APPLICABLE PARTS OF ARTICLE 107.14 AND SECTION 701 OF STANDARD SPECIFICATIONS AND THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS. THE FOLLOWING TRAFFIC CONTROL REQUIREMENTS ARE OF THE SPECIAL IMPORTANCE. CONFORMANCE TO THESE REQUIREMENTS, HOWEVER, SHALL NOT RELIEVE THE CONTRACTOR FROM CONFORMING TO, ALL OTHER APPLICABLE REQUIREMENTS OF THE FOREMENTIONED SPECIFICATIONS AND STANDARDS. THE GOVERNING FACTOR IN THE EXECUTION AND STAGING OF WORK FOR THIS PROJECT IS TO PROVIDE THE MOTORING PUBLIC WITH THE SAFEST POSSIBLE TRAVEL CONDITIONS ALONG THE ROADWAY THROUGH THIS CONSTRUCTION ZONE. THE CONTRACTOR SHALL SO ARRANGE HIS OPERATIONS AS TO KEEP THE CLOSING OF ANY LANE OF ROADWAY TO A MINIMUM. ALL SIGNS, SIGNALS, MARKINGS, TRAFFIC CONES, BARRICADES, WARNING LIGHTS, FLAGGING, AND OTHER TRAFFIC CONTROL DEVICES MUST CONFORM TO THE PLANS, SPECIFICATIONS, SPECIAL PROVISIONS AND THE LATEST EDITION OF THE "STATE OF ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". THE CONTRACTOR SHALL OBTAIN, ERECT, MAINTAIN, AND REMOVE ALL TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH ARTICLE 107.14 OF THE STANDARD SPECIFICATIONS. THE ENGINEER SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLACEMENT AND MAINTENANCE OF THE TRAFFIC CONTROL DEVICES PRESCRIBED IN THE APPROPRIATE STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER LOCATION, INSTALLATION, AND ARRANGEMENT OF ALL TRAFFIC CONTROL DEVICES. SPECIAL ATTENTION SHALL BE GIVEN TO ADVANCE WARNING SIGNS DURING CONSTRUCTION OPERATIONS IN ORDER TO KEEP LANE ASSIGNMENT CONSISTENT WITH BARRICADE PLACEMENT AT ALL TIMES. THE CONTRACTOR WILL BE REQUIRED TO COVER ALL TRAFFIC CONTROL DEVICES WHICH ARE INCONSISTENT WITH LANE ASSIGNMENT PATTERNS DURING THE TRANSITION FROM ONE CONSTRUCTION ZONE OR STAGE TO ANOTHER. CONSTRUCTION SIGNS REFERRING TO DAYTIME LANE CLOSURES DURING WORKING HOURS SHALL BE REMOVED OR COVERED DURING NON-WORKING HOURS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRAFFIC CONTROL WORK ON THIS PROJECT WITH ADJOINING OR OVERLAPPING PROJECTS, AND FOR COORDINATION OF BARRICADE PLACEMENT NECESSARY TO PROVIDE A UNIFORM TRAFFIC DETOUR PATTERN. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL TRAFFIC CONTROL DEVICES, WHICH WERE FURNISHED, INSTALLED AND MAINTAINED BY HIM UNDER THIS CONTRACT, AND SUCH DEVICES SHALL REMAIN IN PLACE UNTIL SPECIFIC AUTHORIZATION FOR RELOCATION OR REMOVAL IS RECEIVED FROM THE ENGINEER. THE CONTRACTOR SHALL PROVIDE A MANNED TELEPHONE ON A CONTINUOUS 24-HOUR-A-DAY BASIS TO RECEIVE NOTIFICATION OF ANY DEFICIENCIES REGARDING TRAFFIC CONTROL AND PROTECTION AND SHALL DISPATCH MEN, MATERIALS AND EQUIPMENT TO CORRECT ANY SUCH DEFICIENCIES. THE CONTRACTOR SHALL BE REQUIRED TO RESPOND TO ANY CALL FROM THE DEPARTMENT CONCERNING ANY REQUEST FOR IMPROVING OR CORRECTING TRAFFIC CONTROL DEVICES AND BEGIN MAKING THE REQUESTED REPAIRS WITHIN TWO HOURS FROM THE TIME OF NOTIFICATION. WHEN TRAVELING IN LANES OPEN TO PUBLIC TRAFFIC, THE CONTRACTOR'S VEHICLES SHALL ALWAYS MOVE WITH AND NOT AGAINST OR ACROSS THE FLOW OF TRAFFIC. THESE VEHICLES SHALL ENTER OR LEAVE WORK AREAS IN A MANNER THAT WILL NOT BE HAZARDOUS TO, OR INTERFERE WITH, TRAFFIC AND SHALL NOT PARK OR STOP EXCEPT WITHIN DESIGNATED WORK AREAS. PERSONAL VEHICLES WILL NOT BE PERMITTED TO PARK WITHIN THE RIGHT-OF-WAY EXCEPT IN SPECIFIC AREAS DESIGNATED BY THE ENGINEER. ANY DROP OFF GREATER THAN THREE INCHES, BUT LESS THAN SIX INCHES WITHIN EIGHT FEET OF THE PAVEMENT EDGE SHALL BE PROTECTED BY TYPE I BARRICADES EQUIPPED WITH MONO-DIRECTIONAL STEADY BURN LIGHTS AT 50 FOOT CENTER TO CENTER SPACING. IF THE DROP OFF WITHIN EIGHT FEET OF THE PAVEMENT EDGE EXCEEDS SIX INCHES, THE BARRICADES MENTIONED ABOVE SHALL BE PLACED AT 25 FOOT CENTER-TO-CENTER SPACING. BARRICADES THAT MUST BE PLACED IN EXCAVATED AREAS SHALL HAVE LEG EXTENSIONS INSTALLED SUCH THAT THE TOP OF THE BARRICADE IS IN COMPLIANCE WITH THE HEIGHT REQUIREMENTS OF STANDARD 702001. VERTICAL PANELS OR OTHER DELINEATING DEVICES MAY BE SUBSTITUTED FOR TYPE I BARRICADES WITH THE APPROVAL OF THE ENGINEER. THE CONTRACTOR SHALL INSURE THAT ALL BARRICADES WITH WARNING SIGNS, LIGHTS AND OTHER DEVICES INSTALLED BY HIM ARE OPERATIONAL EVERY DAY, INCLUDING SUNDAYS AND HOLIDAYS. IN THE EVENT OF SEVERE WEATHER CONDITIONS, THE CONTRACTOR WILL BE REQUIRED TO FURNISH ANY ADDITIONAL PERSONNEL REQUIRED TO PROPERLY MAINTAIN ALL TRAFFIC CONTROL DEVICES AS DIRECTED BY THE ENGINEER. DELAYS TO THE CONTRACTOR CAUSED BY COMPLYING WITH THESE REQUIREMENTS SHALL BE CONSIDERED INCIDENTAL TO THE ITEM FOR TRAFFIC CONTROL AND PROTECTION, NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

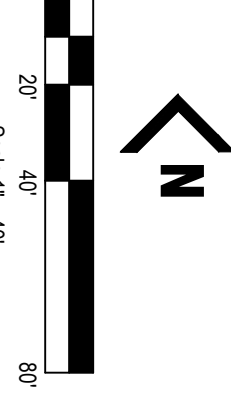
LANDSCAPING

- TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF (SRRBC) ARTICLE 201.05.
- ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR'S EXPENSE IN ACCORDANCE WITH ARTICLE 202.3.
- ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT. TREATMENTS SHALL BE PERFORMED IN ACCORDANCE WITH ANSI-A300 FOR CUTS AND WOUNDS AND ARTICLE 202.3.
- TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO CONSTRUCTION OPERATIONS AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- TREE ROOT PRUNING: BEFORE ANY TRENCHING OR EXCAVATION IN THE AREA OF A TREE, TREE ROOTS SHALL BE CUT WITH AN APPROPRIATE ROOT PRUNING EQUIPMENT TO A MINIMUM OF 24" DEEP. THE CUTS SHALL BE MADE 6" TO 12" CLOSER TO THE TREE THAN THE CONSTRUCTION LIMIT. THIS ALLOWS FOR ROOT REGENERATION (WITHIN THE 6" TO 12" ZONE) DURING THE CONSTRUCTION PERIOD. PRUNING SHALL NOT BE DONE AT THE CONSTRUCTION LIMIT. SINCE THE CUT SURFACES OF THE ROOTS WILL REMAIN EXPOSED RESULTING IN ROOT DIEBACK, THIS WORK WILL NOT BE PAID SEPARATELY, BUT WILL BE INCLUDED IN THE ASSOCIATED TRENCHING AND/OR EARTH EXCAVATION PAY ITEMS.
- TREE REMOVAL, TREE TRUNK PROTECTION, AND TREE PRUNING SHALL BE DONE AT THE LOCATIONS SHOWN ON THE DRAWINGS AND AS DIRECTED BY THE ENGINEER AND/OR LANDSCAPE ARCHITECT IN THE FIELD.
- ALL GRASSED AREAS DISTURBED DURING THE CONSTRUCTION OPERATIONS SHALL BE SEEDDED IN ACCORDANCE WITH SECTION 252 OF THE STANDARD SPECIFICATIONS.
- ALL DISTURBED GROUND SHALL BE FURNISHED WITH 6" TOPSOIL, SEEDDED CLASS 2A, FERTILIZED AND SHALL BE COVERED WITH EROSION CONTROL BLANKET UNLESS NOTED OTHERWISE.
- EROSION CONTROL BLANKET SHALL BE NAG S75BN OR APPROVED EQUAL, UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS OR CONTRACT DOCUMENTS.
- RESTORATION SHALL BE COMPLETED IN A TIMELY MANNER AS THE PROJECT PROGRESSES.

STAKING

- ALL ELEVATIONS ON THESE PLANS ARE ON U.S.G.S. NAVD 88 DATUM.
- THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISHED GRADE. ALLOW FOR THE THICKNESS OF THE TOPSOIL AS SHOWN.
- ALL DIMENSIONS CONTAINED HEREIN REFERENCE BACK OF CURB, FACE OF RETAINING WALL, EDGE OF PAVEMENT, CENTER OF STRUCTURE, AND OUTSIDE FACE OF BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS IF COORDINATES AND DIMENSIONS ARE GIVEN.
- FOR STRUCTURES IN THE CURB LINE, THE STATION, OFFSET, AND ELEVATION ARE CALLED TO THE EDGE OF PAVEMENT. ALL OTHER STRUCTURES ARE LOCATED TO THE CENTER OF THE STRUCTURE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS EXISTING IN THE FIELD PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION.
- THESE DRAWINGS ASSUME THAT THE CONTRACTOR WILL UTILIZE AN ELECTRONIC DRAWING FILE AND STAKE ALL IMPROVEMENTS USING COORDINATES TIED INTO THE CONTROL POINTS. THE DIMENSIONS INDICATED HERON ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
- WHERE SECTION OR SUBSECTION MONUMENTS OR PROPERTY OR REFERENCE MARKERS ARE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED BEFORE THE MONUMENTS ARE DISTURBED. THE CONTRACTOR SHALL CAREFULLY PRESERVE ALL PROPERTY MARKERS AND MONUMENTS UNTIL THE OWNER, THE ENGINEER, HIS AGENT, OR AN AUTHORIZED SURVEYOR HAS WITNESSED OR OTHERWISE REFERENCED THEIR LOCATIONS.

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 095-048 Final Notes 11/06/23 10:49:24 AM, 7/12/2023 11:24:46 AM, Title Block



BENCHMARK: 101 ON ONE HYPANT
EAST FROM SAUNDERS ROAD
ELEVATION = 670.20 NAVD88

ISSUED DATE	ISSUED FOR
06/09/2023	Bd & Permit
06/30/2023	Woodland Permit/Wetland
07/22/2023	Wetland Review

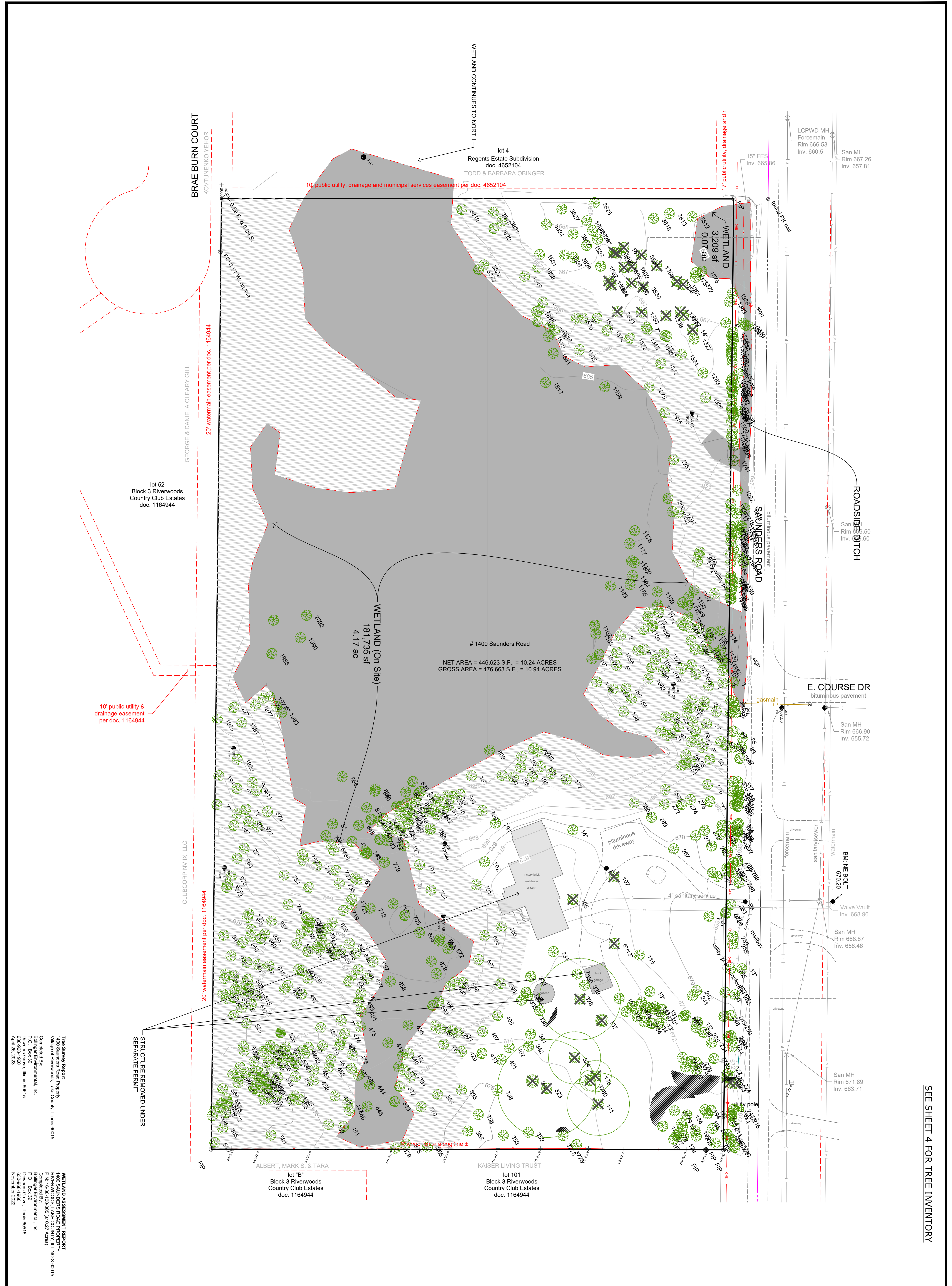
PROFESSIONAL SEAL
"To the best of our knowledge and belief, the drainage of the surface waters with this project will not be increased or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practice and will not be expected to cause the likelihood of the damage to the adjoining property because of the construction of the project."

Michael G. Bleck
MICHAEL G. BLECK
LICENSED PROFESSIONAL ENGINEER
STATE OF ILLINOIS
No. 062-08888 Expires 11/30/23
Michael G. Bleck, PE 06/09/2023

GREEN BUILDING TECHNOLOGIES
332 N Deere Park W
Highland Park, Illinois 60035
95-048 Project No.
MGB Drawn By
Checked By
Checked By

WETLAND ASSESSMENT REPORT
1400 SAUNDERS ROAD PROPERTY
VILLAGE OF RIVERWOODS, LAKE COUNTY, ILLINOIS 60015
Completed By:
Boddiger Environmental, Inc.
Downers Grove, Illinois 60515
630-988-1980
November 2022

Drawing Name
Existing Conditions
3



The Survey Report
1400 Saunders Road Property
Village of Riverwoods, Lake County, Illinois 60015
Completed By:
Boddiger Environmental, Inc.
Downers Grove, Illinois 60515
630-988-1980
April 26, 2023

WETLAND ASSESSMENT REPORT
1400 SAUNDERS ROAD PROPERTY
VILLAGE OF RIVERWOODS, LAKE COUNTY, ILLINOIS 60015
Completed By:
Boddiger Environmental, Inc.
Downers Grove, Illinois 60515
630-988-1980
November 2022

STRUCTURE REMOVED UNDER SEPARATE PERMIT

TREE INVENTORY

BLECK

engineers | surveyors

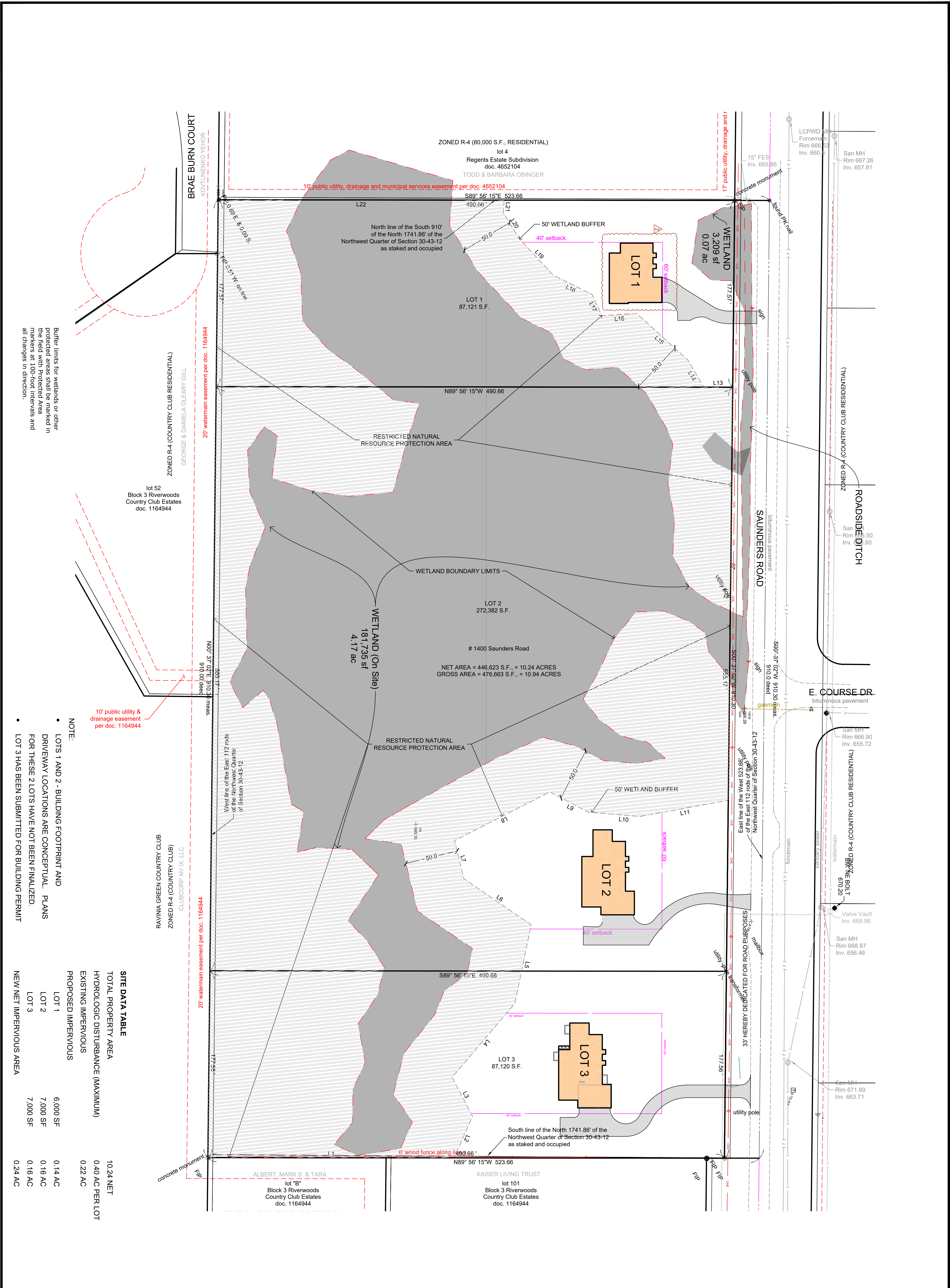
Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 W bleckeng.com

1400 Saunders
Road
Riverwoods, IL

Please Note: BEI tagged untagged trees using tags 3773 & 3775 - 3836. Tag numbers without the DTR pre-fix that are not within the range of tags used by BEI were prior tagged trees that BEI added to this table.

TREE INVENTORY COMPLETED BY:
BOLLINGER ENVIRONMENTAL, INC.
P.O. BOX 39
DOWNERS GROVE, ILLINOIS 60515
630.968.1100

TAG NUMBER	COMMON NAME	SCIENTIFIC NAME	DBH	CONDITIO N	FORM	COMMENTS	TAG NUMBER	COMMON NAME	SCIENTIFIC NAME	DBH	CONDITIO N	FORM	COMMENTS	TAG NUMBER	COMMON NAME	SCIENTIFIC NAME	DBH	CONDITIO N	FORM	COMMENTS	TAG NUMBER	COMMON NAME	SCIENTIFIC NAME	DBH	CONDITIO N	FORM	COMMENTS
DTR 106	Shagbark Hickory	Carya ovata	18.00	1.00	1.00		DTR 106	Shagbark Hickory	Carya ovata	18.00	1.00	1.00		DTR 285	Bur Oak	Quercus macrocarpa	6.00	3.00	5.00	cut for wires	DTR 811	Sugar Maple	Acer saccharum	10.00	3.00	3.00	
DTR 107	Black Walnut	Juglans nigra	16.00	2.00	2.00		DTR 107	Black Walnut	Juglans nigra	16.00	2.00	2.00		DTR 286	Bur Oak	Quercus macrocarpa	6.00	3.00	5.00	cut for wires	DTR 812	Red Oak	Quercus rubra	11.00	2.00	2.00	
DTR 1076	Shagbark Hickory	Carya ovata	6.00	2.00	2.00		DTR 1076	Shagbark Hickory	Carya ovata	6.00	2.00	2.00		DTR 287	Shagbark Hickory	Carya ovata	5.00	3.00	3.00		DTR 813	Sugar Maple	Acer saccharum	3.00	3.00	3.00	
DTR 1077	Shagbark Hickory	Carya ovata	6.00	2.00	2.00		DTR 1077	Shagbark Hickory	Carya ovata	6.00	2.00	2.00		DTR 292	Bur Oak	Quercus macrocarpa	6.00	3.00	5.00	cut for wires	DTR 814	Sugar Maple	Acer saccharum	3.00	3.00	3.00	
DTR 1078	Black Cherry	Prunus serotina	6.00	1.00	1.00		DTR 1078	Black Cherry	Prunus serotina	6.00	1.00	1.00		DTR 295	White Oak	Quercus alba	25.00	3.00	5.00	cut for wires	DTR 815	American Elm	Ulmus americana	4.00	3.00	3.00	
DTR 1079	White Oak	Quercus alba	30.00	2.00	3.00		DTR 1079	White Oak	Quercus alba	30.00	2.00	3.00		DTR 296	Shagbark Hickory	Carya ovata	4.00	3.00	5.00	cut for wires	DTR 816	Shagbark Hickory	Carya ovata	4.00	2.00	2.00	
DTR 1081	Eastern Cottonwood	Populus deltoides	34.00	4.00	3.00		DTR 1081	Eastern Cottonwood	Populus deltoides	34.00	4.00	3.00		DTR 297	Bur Oak	Quercus macrocarpa	4.00	3.00	5.00	cut for wires	DTR 817	Shagbark Hickory	Carya ovata	4.00	3.00	3.00	
DTR 1082	Black Cherry	Prunus serotina	2.00	4.00	4.00		DTR 1082	Black Cherry	Prunus serotina	2.00	4.00	4.00		DTR 298	Shagbark Hickory	Carya ovata	4.00	3.00	5.00	cut for wires	DTR 819	Red Oak	Quercus rubra	17.00	3.00	3.00	
DTR 1089	Bur Oak	Quercus macrocarpa	30.00	3.00	3.00		DTR 1089	Bur Oak	Quercus macrocarpa	30.00	3.00	3.00		DTR 299	Shagbark Hickory	Carya ovata	5.00	3.00	5.00	cut for wires	DTR 821	Sugar Maple	Acer saccharum	3.00	3.00	3.00	
DTR 1097	Bur Oak	Quercus macrocarpa	5.00	2.00	3.00		DTR 1097	Bur Oak	Quercus macrocarpa	5.00	2.00	3.00		DTR 300	Shagbark Hickory	Carya ovata	6.00	3.00	3.00		DTR 822	Red Oak	Quercus rubra	9.00	3.00	3.00	
DTR 11	Black Cherry	Prunus serotina	8.7	4.00	4.00		DTR 11	Black Cherry	Prunus serotina	8.7	4.00	4.00		DTR 301	Bur Oak	Quercus macrocarpa	7.00	3.00	3.00		DTR 823	Sugar Maple	Acer saccharum	4.00	3.00	3.00	
DTR 1109	Bur Oak	Quercus macrocarpa	9.00	2.00	3.00		DTR 1109	Bur Oak	Quercus macrocarpa	9.00	2.00	3.00		DTR 302	Hawthorn	Crataegus sp.	6, 3, 2	4.00	4.00		DTR 824	Sugar Maple	Acer saccharum	4.00	1.00	1.00	
DTR 1110	Bur Oak	Quercus macrocarpa	6.00	2.00	2.00		DTR 1110	Bur Oak	Quercus macrocarpa	6.00	2.00	2.00		DTR 303	Bur Oak	Quercus macrocarpa	7.00	3.00	5.00	cut for wires	DTR 826	Red Oak	Quercus rubra	4.00	3.00	3.00	
DTR 1112	Bur Oak	Quercus macrocarpa	4.00	3.00	3.00		DTR 1112	Bur Oak	Quercus macrocarpa	4.00	3.00	3.00		DTR 304	Bur Oak	Quercus macrocarpa	4.00	5.00	5.00	dead	DTR 827	Shagbark Hickory	Carya ovata	4.00	3.00	3.00	
DTR 1113	Shagbark Hickory	Carya ovata	4.00	2.00	2.00		DTR 1113	Shagbark Hickory	Carya ovata	4.00	2.00	2.00		DTR 305	Bur Oak	Quercus macrocarpa	7.00	3.00	5.00	cut for wires	DTR 828	Sugar Maple	Acer saccharum	2.00	3.00	3.00	
DTR 1114	Bur Oak	Quercus macrocarpa	8.00	3.00	3.00		DTR 1114	Bur Oak	Quercus macrocarpa	8.00	3.00	3.00		DTR 307	Bur Oak	Quercus macrocarpa	5.00	3.00	5.00	cut for wires	DTR 829	Hop Hornbeam	Ostrya virginiana	4.00	2.00	2.00	
DTR 1117	Shagbark Hickory	Carya ovata	2.00	3.00	3.00		DTR 1117	Shagbark Hickory	Carya ovata	2.00	3.00	3.00		DTR 310	Bur Oak	Quercus macrocarpa	8.00	3.00	4.00	cut for wires	DTR 832	Red Oak	Quercus rubra	6.00	3.00	3.00	
DTR 1118	Shagbark Hickory	Carya ovata	8.00	2.00	2.00		DTR 1118	Shagbark Hickory	Carya ovata	8.00	2.00	2.00		DTR 311	Bur Oak	Quercus macrocarpa	11.00	3.00	4.00	cut for wires	DTR 833	Shagbark Hickory	Carya ovata	4.00	2.00	2.00	
DTR 1121	Bur Oak	Quercus macrocarpa	4.00	3.00	3.00		DTR 1121	Bur Oak	Quercus macrocarpa	4.00	3.00	3.00		DTR 312	Bur Oak	Quercus macrocarpa	4.00	3.00	5.00	cut for wires	DTR 834	Red Oak	Quercus rubra	8.00	3.00	3.00	
DTR 1122	Black Cherry	Prunus serotina	6.00	3.00	4.00	lean	DTR 1122	Black Cherry	Prunus serotina	6.00	3.00	4.00	lean	DTR 313	Bur Oak	Quercus macrocarpa	7.00	3.00	5.00	cut for wires	818.00	Sugar Maple	Acer saccharum	3.00	3.00	3.00	
DTR 1124	Black Cherry	Prunus serotina	6.00	3.00	3.00		DTR 1124	Black Cherry	Prunus serotina	6.00	3.00	3.00		DTR 314	Bur Oak	Quercus macrocarpa	6.00	3.00	5.00	cut for wires	8.00	Shagbark Hickory	Carya ovata	6.00	5.00	5.00	
DTR 1128	Shagbark Hickory	Carya ovata	4.00	2.00	2.00		DTR 1128	Shagbark Hickory	Carya ovata	4.00	2.00	2.00		DTR 315	Bur Oak	Quercus macrocarpa	5.00	3.00	5.00	cut for wires	DTR 844	American Elm	Ulmus americana	5.00	3.00	3.00	
DTR 1129	Shagbark Hickory	Carya ovata	4.00	1.00	1.00		DTR 1129	Shagbark Hickory	Carya ovata	4.00	1.00	1.00		DTR 316	Sugar Maple	Acer saccharum	6, 5	5.00	5.00	dead	DTR 845	Swamp White Oak	Quercus bicolor	6.00	3.00	3.00	
DTR 1131	Bur Oak	Quercus macrocarpa	6.00	1.00	1.00		DTR 1131	Bur Oak	Quercus macrocarpa	6.00	1.00	1.00		DTR 317	Bur Oak	Quercus macrocarpa	12.00	3.00	4.00		DTR 847	Red Oak	Quercus rubra	12.00	3.00	3.00	
DTR 1132	Bur Oak	Quercus macrocarpa	9.00	3.00	5.00	cut for wires	DTR 1132	Bur Oak	Quercus macrocarpa	9.00	3.00	5.00	cut for wires	DTR 318	Hawthorn	Crataegus sp.	3.00	3.00	3.00		DTR 86	Shagbark Hickory	Carya ovata	7.00	3.00	5.00	cut for wires
DTR 1136	Shagbark Hickory	Carya ovata	6.00	2.00	2.00		DTR 1136	Shagbark Hickory	Carya ovata	6.00	2.00	2.00		DTR 319	White Oak	Quercus alba	47.00	3.00	3.00		DTR 89	American Elm	Ulmus americana	4.00	3.00	4.00	cut for wires
DTR 1137	Shagbark Hickory	Carya ovata	6.00	2.00	2.00		DTR 1137	Shagbark Hickory	Carya ovata	6.00	2.00	2.00		DTR 324	Shagbark Hickory	Carya ovata	25.00	2.00	2.00		DTR 90	Bur Oak	Quercus macrocarpa	12.00	3.00	5.00	cut for wires
DTR 1138	Bur Oak	Quercus macrocarpa	13.00	3.00	3.00		DTR 1138	Bur Oak	Quercus macrocarpa	13.00	3.00	3.00		DTR 328	White Oak	Quercus alba	39.00	2.00	3.00		DTR 91	Red Oak	Quercus rubra	4.00	4.00	4.00	
DTR 1143	American Elm	Ulmus americana	6.00	3.00	3.00		DTR 1143	American Elm	Ulmus americana	6.00	3.00	3.00		DTR 329	Shagbark Hickory	Carya ovata	18.00	2.00	3.00		DTR 92	Bur Oak	Quercus macrocarpa	12, 12	3.00	4.00	cut for wires
DTR 1144	Red Oak	Quercus rubra	16.00	2.00	2.00		DTR 1144	Red Oak	Quercus rubra	16.00	2.00	2.00		DTR 330	Shagbark Hickory	Carya ovata	20.00	2.00	2.00	2 leaders	DTR 93	Shagbark Hickory	Carya ovata	15.00	2.00	3.00	
DTR 1145	Bur Oak	Quercus macrocarpa	3.00	3.00	3.00		DTR 1145	Bur Oak	Quercus macrocarpa	3.00	3.00	3.00		DTR 332	White Oak	Quercus alba	10.00	2.00	2.00		DTR 95	Shagbark Hickory	Carya ovata	4.00	2.00	2.00	
DTR 1146	Bur Oak	Quercus macrocarpa	6.00	2.00	2.00		DTR 1146	Bur Oak	Quercus macrocarpa	6.00	2.00	2.00		DTR 333	Sugar Maple	Acer saccharum	6.00	2.00	3.00		DTR 96	Shagbark Hickory	Carya ovata	3.00	3.00	5.00	
DTR 1148	Shagbark Hickory	Carya ovata	3.00	3.00	3.00		DTR 1148	Shagbark Hickory	Carya ovata	3.00	3.00	3.00		DTR 334	Shagbark Hickory	Carya ovata	9.00	4.00	3.00	hollow	DTR 98	Black Cherry	Prunus serotina	5.00	5.00	5.00	dead
DTR 1149	Bur Oak	Quercus macrocarpa	5.00	2.00	2.00		DTR 1149	Bur Oak	Quercus macrocarpa	5.00	2.00	2.00		DTR 335	Shagbark Hickory	Carya ovata	15.00	2.00	3.00	2 leaders	846.00	Red Oak	Quercus rubra	14.00	3.00	3.00	
DTR 1150	American Elm	Ulmus americana	10.00	2.00	3.00		DTR 1150	American Elm	Ulmus americana	10.00	2.00	3.00		DTR 338	Shagbark Hickory	Carya ovata	17.00	2.00	3.00		3773.00	American Elm	Ulmus americana	8.00	2.00	2.00	
DTR 1154	Hawthorn	Crataegus sp.	4.00	3.00	3.00		DTR 1154	Hawthorn	Crataegus sp.	4.00	3.00	3.00		DTR 341	Red Oak	Quercus rubra	6.00	3.00	3.00		3775.00	Bowelder	Acer negundo	6, 6	3.00	3.00	
DTR 1155	Hawthorn	Crataegus sp.	5.00	3.00	3.00		DTR 1155	Hawthorn	Crataegus sp.	5.00	3.00	3.00		DTR 342	Black Cherry	Prunus serotina	8.00	3.00	3.00		3776.00	Red Oak	Quercus rubra	8.00	2.00	2.00	
DTR 1156	Hawthorn	Crataegus sp.	6.00	3.00	3.00		DTR 1156	Hawthorn	Crataegus sp.	6.00	3.00	3.00		DTR 343	Black Cherry	Prunus serotina	6.00	3.00	3.00		3777.00	Red Oak	Quercus rubra	11.00	2.00	3.00	
DTR 1157	Hawthorn	Crataegus sp.	4.00	3.00	3.00		DTR 1157	Hawthorn	Crataegus sp.	4.00	3.00	3.00		DTR 344	Black Cherry	Prunus serotina	6.00	3.00	3.00		3778.00	Red Oak	Quercus rubra	11.00	3.00	4.00	cut for wires
DTR 1158	Hawthorn	Crataegus sp.	4.00	3.00	3.00		DTR 1158	Hawthorn	Crataegus sp.	4.00	3.00	3.00		DTR 345	Black Cherry	Prunus serotina	6.00	3.00	3.00		3779.00	Red Oak	Quercus rubra	24.00	2.00	2.00	
DTR 1159	Sugar Maple	Acer saccharum	10, 6	3.00	5.00	cut for wires	DTR 1159	Sugar Maple	Acer saccharum	10, 6	3.00	5.00	cut for wires	DTR 347	Black Cherry	Prunus serotina	5.00	4.00	4.00		3780.00	American Elm	Ulmus americana	9.00	2.00	2.00	
DTR 1160	Hawthorn	Crataegus sp.	5.00	3.00	3.00		DTR 1160	Hawthorn	Crataegus sp.	5.00	3.00	3.00		DTR 348	Black Cherry	Prunus serotina	6.00	3.00	3.00		3781.00	Sugar Maple	Acer saccharum	7.00	2.00	2.00	
DTR 1161	Hawthorn	Crataegus sp.	4.00	5.00	5.00	dead	DTR 1161	Hawthorn	Crataegus sp.	4.00	5.00	5.00	dead	DTR 349	Black Cherry	Prunus serotina	6.00	3.00	3.00		3782.00	Red Oak	Quercus rubra	13.00	3.00	3.00	
DTR 1163	Hawthorn	Crataegus sp.	4.00	3.00	3.00		DTR 1163	Hawthorn	Crataegus sp.	4.00	3.00	3.00		DTR 352	Hawthorn	Crataegus sp.	3.00	3.00	3.00		3783.00	Red Oak	Quercus rubra	13.00	3.00	3.00	
DTR 1164	Hawthorn	Crataegus sp.	6.00	3.00	3.00		DTR 1164	Hawthorn	Crataegus sp.	6.00	3.00	3.00		DTR 353	Shagbark Hickory	Carya ovata	18.00	2.00	2.00		3784.00	Red Oak	Quercus rubra	14.00	3.00	3.00	
DTR 1165	Bur Oak	Quercus macrocarpa	6.00	3.00	4.00	cut for wires	DTR 1165	Bur Oak	Quercus macrocarpa	6.00	3.00	4.00	cut for wires	DTR 355	Red Oak	Quercus rubra	45.00	3.00	3.00		3785.00	Red Oak	Quercus rubra	13.00	3.00	3.00	
DTR 1166	Shagbark Hickory	Carya ovata	4.00	3.00	4.00	cut for wires	DTR 1166	Shagbark Hickory	Carya ovata	4.00	3.00	4.00	cut for wires	DTR 358	Red Oak	Quercus rubra	31.00	3.00	3.00		3786.00	Red Oak	Quercus rubra	10.00	3.00	3.00	
DTR 1168	Hawthorn	Crataegus sp.	7, 6	3.00	3.00		DTR 1168	Hawthorn																			



Buffer limits for wetlands or other protected areas shall be marked in the field with Protected Area markers at 100-foot intervals and all changes in direction.

NOTE:
 • LOTS 1 AND 2 - BUILDING FOOTPRINT AND DRIVEWAY LOCATIONS ARE CONCEPTUAL. PLANS FOR THESE 2 LOTS HAVE NOT BEEN FINALIZED.
 • LOT 3 HAS BEEN SUBMITTED FOR BUILDING PERMIT

SITE DATA TABLE	
TOTAL PROPERTY AREA	10.24 NET
HYDROLOGIC DISTURBANCE (MAXIMUM)	0.40 AC PER LOT
EXISTING IMPERVIOUS	0.22 AC
PROPOSED IMPERVIOUS	
LOT 1	6,000 SF
LOT 2	7,000 SF
LOT 3	7,000 SF
NEW NET IMPERVIOUS AREA	0.14 AC
	0.16 AC
	0.16 AC
	0.24 AC

BLECK
engineers | surveyors

Bleck Engineering Company, Inc.
 1375 North Western Avenue
 Lake Forest, Illinois 60045
 T 847.295.5200 W bleckeng.com

1400 Saunders Road
Riverwoods, IL

ISSUED DATE: 06/09/2023
 ISSUED FOR: Bid & Permit
 06/20/2023: Woodard Park/Wetland
 07/12/2023: Wetland Review

ISSUED DATE: 06/09/2023
 ISSUED FOR: Bid & Permit
 06/20/2023: Woodard Park/Wetland
 07/12/2023: Wetland Review

0' 20' 40' 80'

Scale 1" = 40'

North Arrow

PROFESSIONAL SEAL

"To the best of our knowledge and belief, the drainage of the surface waters with this project will be properly planned and based on field and laboratory data and that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practice and will be designed to prevent the likelihood of the damage to the adjoining property because of the construction of the project."

BENCHMARK: T.M. ON FIRE HYDRANT
 EAST FROM SAUNDERS ROAD
 ELEVATION = 670.20 NAVD88

GREEN BUILDING TECHNOLOGIES
 332 N Deere Park W
 Highland Park, Illinois 60035

95-048 Project No.

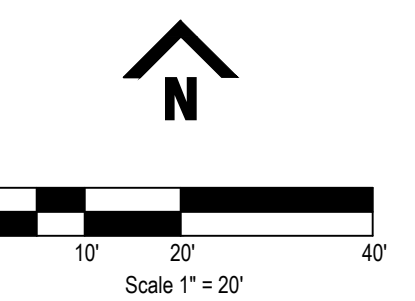
Michael G. Bleck, PE 06.09.2023

Michael G. Bleck
 LICENSED PROFESSIONAL ENGINEER
 STATE OF ILLINOIS

Overall Site Plan

Drawing No. **5**

Checked By: MKB
 Drawn By: MKB
 Project No. 95-048



BENCHMARK:
NORTHEAST BOLT ON FIRE HYDRANT
EAST ROW SAUNDERS ROAD
ELEVATION = 670.20 NAVD88

ISSUED DATE	ISSUED FOR
06.09.2023	Bid & Permit
06.20.2023	Woodland Plan/Wetland
07.12.2023	Welland Review

PROFESSIONAL SEAL

"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."



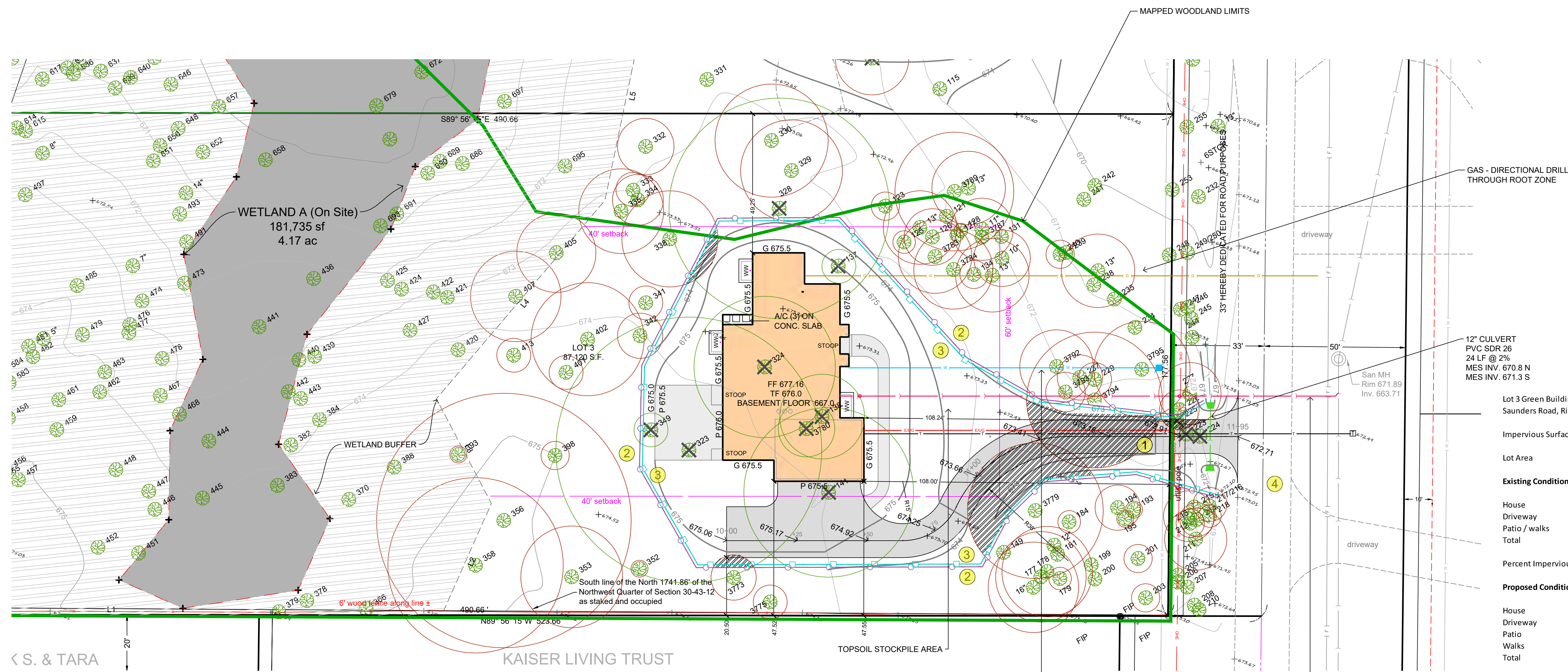
Michael G. Bleck, PE 06.09.2023

GREEN BUILDING TECHNOLOGIES
332 N Deere Park W
Highland Park, Illinois 60035

95-048	Project No.
MGB	Drawn By
Checked By	Checked By

Drawing No. **6**

Drawing Name
Site Development Plan
Lot 3



- Notes:
- Downspouts in to splash at grade unless otherwise shown. Provide concrete splash pad at discharge.
 - For downspouts tying into sewer system, provide 2" air gap.

WATER SERVICE
1.25" CU TYPE K, 212 LF
1.25" CORP STOP & BOX
VERIFY LOCATION & ELEV.
DIRECTIONAL DRILL IN CRITICAL ROOT ZONE

SAN. SERVICE
120 LF 6" PVC SDR 26 @ 2.7%
DIRECTIONAL DRILL UNDER ROADWAY AND IN CRITICAL ROOT ZONE

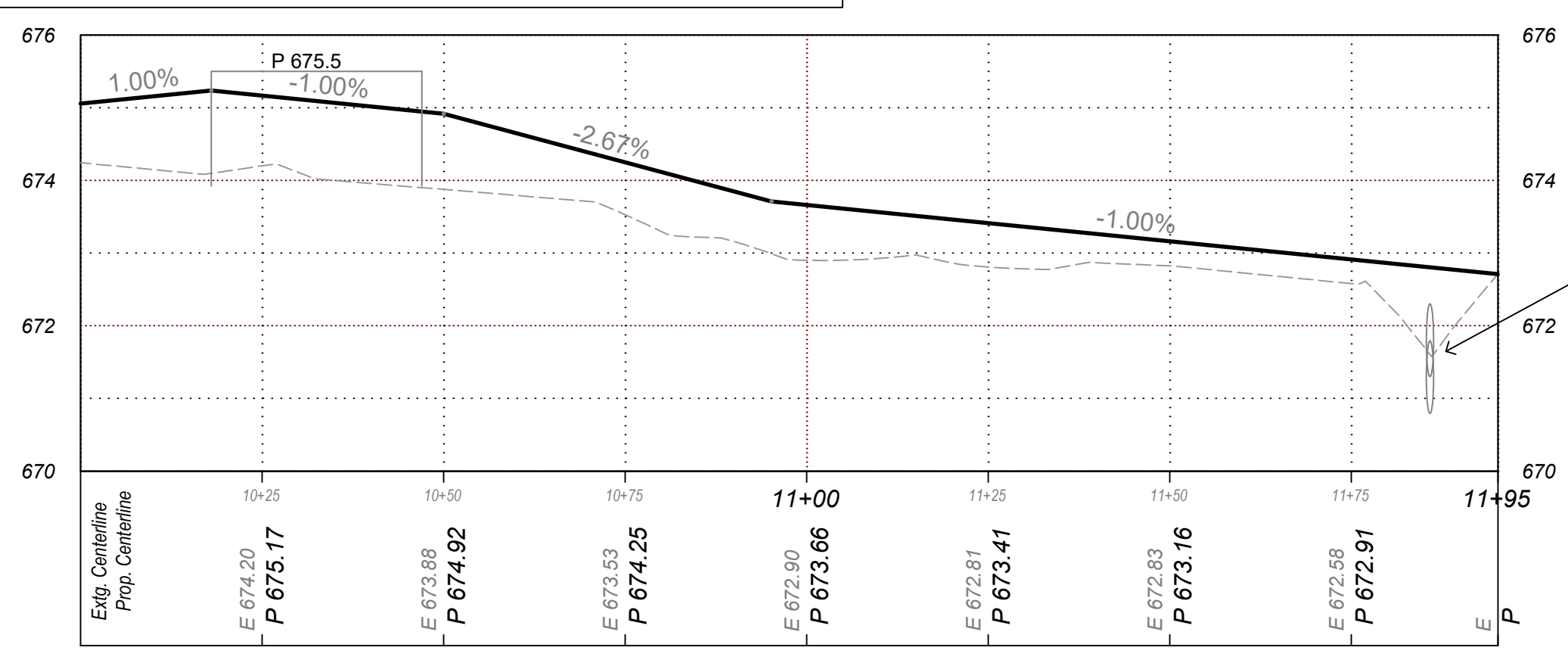
Lot 3 Green Building Technologies Sub.
Saunders Road, Riverwoods

Impervious Surface Calculation	
sq ft	acre
Lot Area	87120 2.000
Existing Conditions	
House	0 0.000
Driveway	0 0.000
Patio / walks	0 0.000
Total	0 0.000
Percent Impervious	0.0%
Proposed Conditions	
House	3027 0.069
Driveway	2985 0.069
Patio	637 0.015
Walks	334 0.008
Total	6983 0.160
Percent Impervious	8.0%

WOODLAND AREA SUMMARY

TOTAL PROPERTY AREA	10.24 AC NET
AREA OF MAPPED WOODLAND	6.99 AC
MAPPED WOODLAND IMPACT	
LOT 1	0.200 AC
LOT 2	0.000 AC
LOT 3	0.336 AC
TOTAL	0.536 AC
PERCENT OF MAPPED WETLAND IMPACT	
LOT 1	2.861%
LOT 2	0.000%
LOT 3	4.807%
TOTAL	7.668%

- 1 STABILIZED CONSTRUCTION ENTRANCE
Use existing driveway
 - 2 TREE PRESERVATION & CONSTRUCTION LIMITS FENCE
9 Temporary Chain Link Fence
 - 3 SILT FILTER FENCE
Shall comply with AASHTO Standard M 288-00
 - 4 MUD AND DUST CONTROL
 - 5 TEMPORARY INLET PROTECTION
All open lid structures to have Catch All Baskets or approved equl.
 - 6 FINAL STABILIZATION
See Landscape Plan
- SILT FENCE
— TREE FENCE



STANDARD SITE DEVELOPMENT PLAN NOTES

- No excavation, grading, tree removal, woodland removal, landscaping, or underground utility work (including drainage tiles or buried utility service lines) not shown on this plan shall be allowed.
- All proposed storm sewers, swales or other drainage improvements shall be constructed and in operation prior to vertical construction.
- All landscaping shall conform to the grades shown hereon and shall be limited to the area within the construction limits shown. Any work outside the construction limits, within the proposed woodland protection area, or requiring additional grading shall require submittal and Village approval of a separate Landscape Plan.
- Topography was prepared by [redacted]. Certification of the accuracy of this topography is expressly made a part of the design engineer's certification of this site plan.
- All excess fill or spoil shall be removed from the site or stored in the location indicated on this plan. Fill or spoil shall not be placed within the proposed woodland protection area.
- In order to prevent Soil Erosion all areas disturbed during construction shall be seeded, sodded, or planted in some approved type of ground cover within thirty days after grading is completed (weather permitting).
- Sump Pumps shall discharge to a road ditch, swale, or storm sewer. Sump Pumps shall not discharge to an existing wetland.
- Driveway culverts shall be a 12" diameter (unless requested to be larger by the Village Engineer) of Reinforced Concrete Pipe with flared end sections and shall extend a minimum of four (4) feet past the edge of the driveway for each one (1) foot of depth below the finished surface on each side.
- Overhead sewers systems are required regardless of the sewer depth.
- Sanitary sewer service shall be PVC SDR 26 conforming to ASTM D2241 with joints conforming to ASTM D3139. The proposed sewer service may be connected to the existing sanitary sewer service if a current videotape is provided to the office of the Village Engineer for review and, in the sole opinion of the Village Engineer, the existing service is in sound condition. If the existing service is not sound, the new service must connect to the existing wye or tee at the main.
- If, after construction is completed, the drainage on this site proves to be inadequate or flows onto adjacent property from impervious areas, in the opinion of the Village Engineer, a swale or storm drain shall be constructed by the Owner to the nearest feasible drainage outlet.
- All vehicles, construction equipment, and material associated with this development shall only be parked, operated and stored on the subject property, outside of the limits of the proposed woodland protection area.
- One copy of the approved site development plan shall be on site throughout construction operations.
- Maximum vehicle weight limit on all streets in the Village is 6 tons per axle.

SITE DEVELOPMENT PLAN CERTIFICATES

I, _____, owner of the property shown on this drawing in Riverwoods, Illinois, do hereby certify that I am familiar with the plan and certify that all work shall be done in accordance with the said plan.

Owner _____ Date _____

I, _____, P.E., have prepared this Site Development Plan and hereby attest to it's accuracy.

Design Engineer _____ Date _____

Approved By: _____

Village Engineer _____ Date _____

Approved By: _____

Village Ecologist _____ Date _____

Person in Charge Note

Person in Charge of Construction Operations:

Name: _____

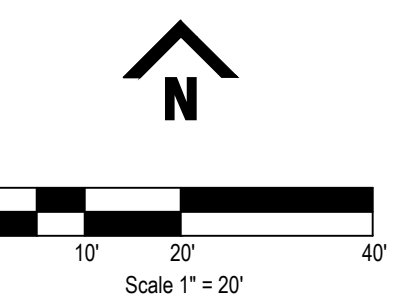
Address: _____

Mobile (24-hour) telephone number: _____

The above individual shall be responsible for all construction operations on this site, including maintenance of protective fencing and erosion control measures, containment of construction debris, and scheduling of Village inspections. The Person in Charge shall ensure that all contractors and subcontractors working on this project are supplied with copies of the approved plans as necessary. The Person in Charge shall be the sole point of contact for all correspondence or direction from the Village.

The Person In Charge shall have on the work at all times, as the Owner's agent, a competent English-speaking superintendent capable of reading and thoroughly understanding the Plans and Specifications and thoroughly experienced in the type of work being performed, who shall receive instructions from the Village Building Official or authorized representatives. The superintendent shall have full authority to execute orders or directions of the Village Building Official without delay, and to promptly supply such materials, equipment, tools, labor, and incidentals as may be required.

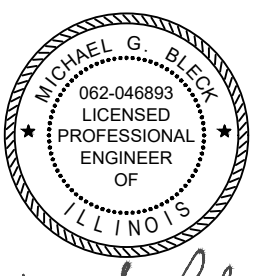
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BENCHMARK:
NORTHEAST BOLT ON FIRE HYDRANT
EAST ROW SAUNDERS ROAD
ELEVATION = 670.20 NAVD88

Table with 2 columns: ISSUED DATE, ISSUED FOR. Includes dates 06.09.2023, 06.20.2023, and 07.12.2023.

PROFESSIONAL SEAL
To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof...



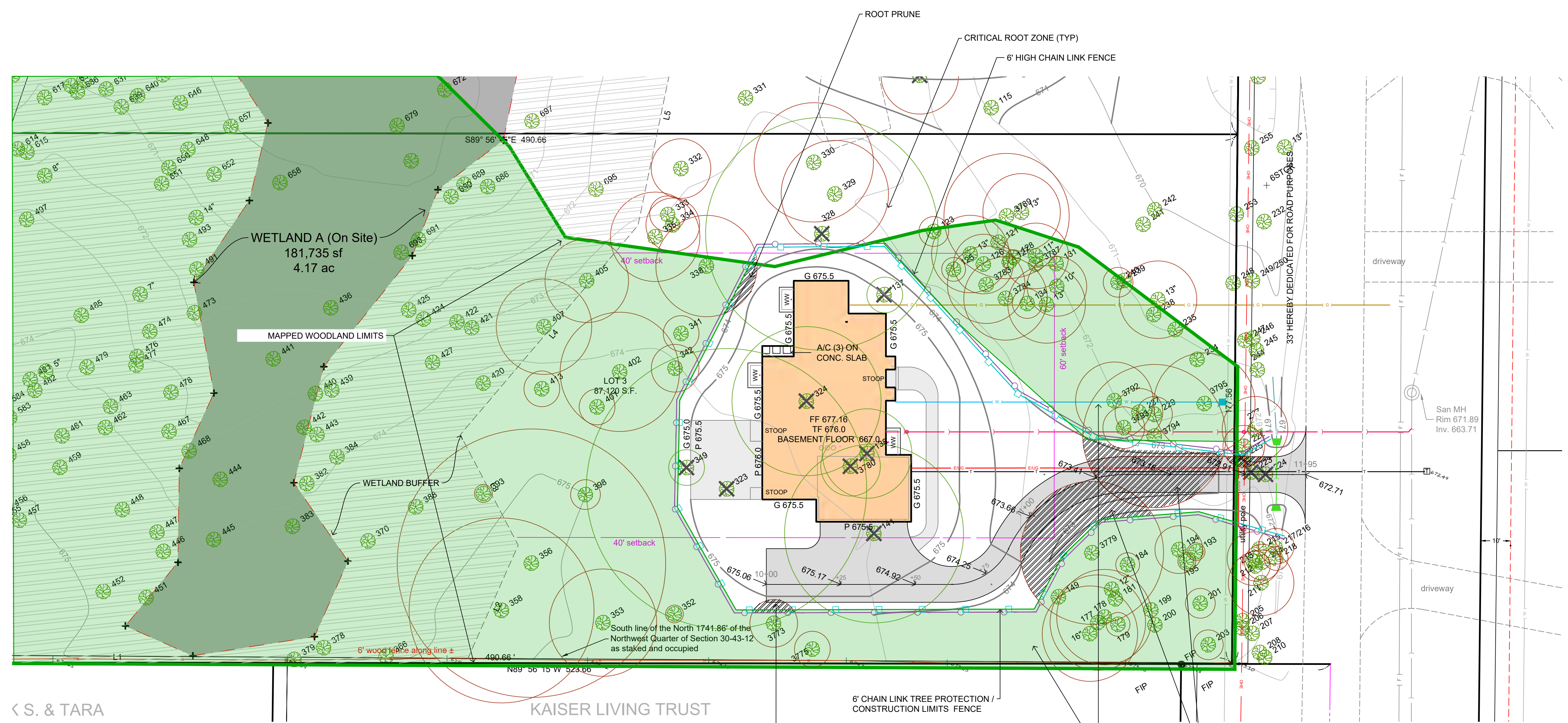
Michael G. Bleck, PE 06.09.2023

GREEN BUILDING TECHNOLOGIES
332 N Deere Park W
Highland Park, Illinois 60035

95-048 Project No.
MGB Drawn By

Checked By Checked By

Drawing Name: Woodland / Tree Protection & Landscaping Plan



WOODLAND AREA SUMMARY table with columns for area type and acreage.

- Notes: 1. Downspouts in to splash at grade unless otherwise shown... 2. For downspouts tying into sewer system, provide 2" air gap.

- Legend items: 1. STABILIZED CONSTRUCTION ENTRANCE, 2. TREE PRESERVATION & CONSTRUCTION LIMITS FENCE, 3. SILT FILTER FENCE, 4. MUD AND DUST CONTROL, 5. TEMPORARY INLET PROTECTION, 6. FINAL STABILIZATION.

LANDSCAPE/WOODLAND PROTECTION PLAN CERTIFICATE

I, _____, owner of the property shown on this drawing in Riverwoods, Illinois, do hereby certify that I have reviewed this plan and understand that (a) the plan does not authorize work to be performed in the area marked as "protected woodland"...

I understand that to reduce damage to existing vegetation on the site, the landscape/woodland and tree protection notes on this plan must be observed. Since the area not falling within protected woodland may be disturbed during construction, a detailed Landscape Plan showing restoration of acceptable ground cover must be submitted for Village review...

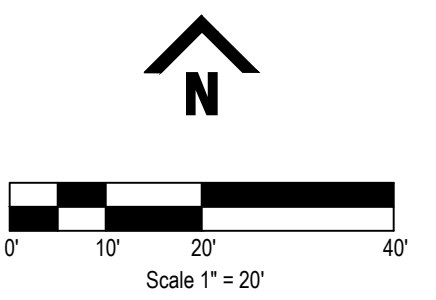
The property may be eligible for participation in cost-share programs the Village has adopted to encourage enhancement of protected woodlands.

Owner: _____ Date: _____ Printed Name: _____

TREE AND WOODLAND PROTECTION PLAN SHEET NOTES

- 1. Existing Protected Woodland and trees/shrubs to remain in place shall be protected against unnecessary cutting, breaking or skinning of roots, skinning and bruising of bark... 2. The woodland protection area shall be fenced off with a chain-link fence during construction and landscape implementation...

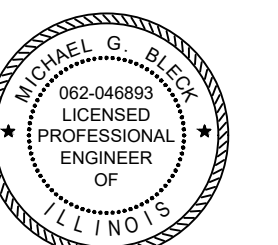
Table with columns: TAG NUMBER, DBH, COMMON NAME, CONDITION, FORM, REMOVE, % REMOVED. Lists various tree species like Sugar Maple, Red Oak, and Shagbark Hickory.



BENCHMARK:
NORTHEAST BOLT ON FIRE HYDRANT
EAST ROW SAUNDERS ROAD
ELEVATION = 670.20 NAVD88

ISSUED DATE	ISSUED FOR
06.09.2023	Bid & Permit
06.20.2023	Woodland Plan/Wetland
07.12.2023	Wetland Review

PROFESSIONAL SEAL
 "To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."



Michael G. Bleck, PE 06.09.2023
License No. 062-046893 Expires 11/30/23

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Bleck Professional Design Firm 194.000011

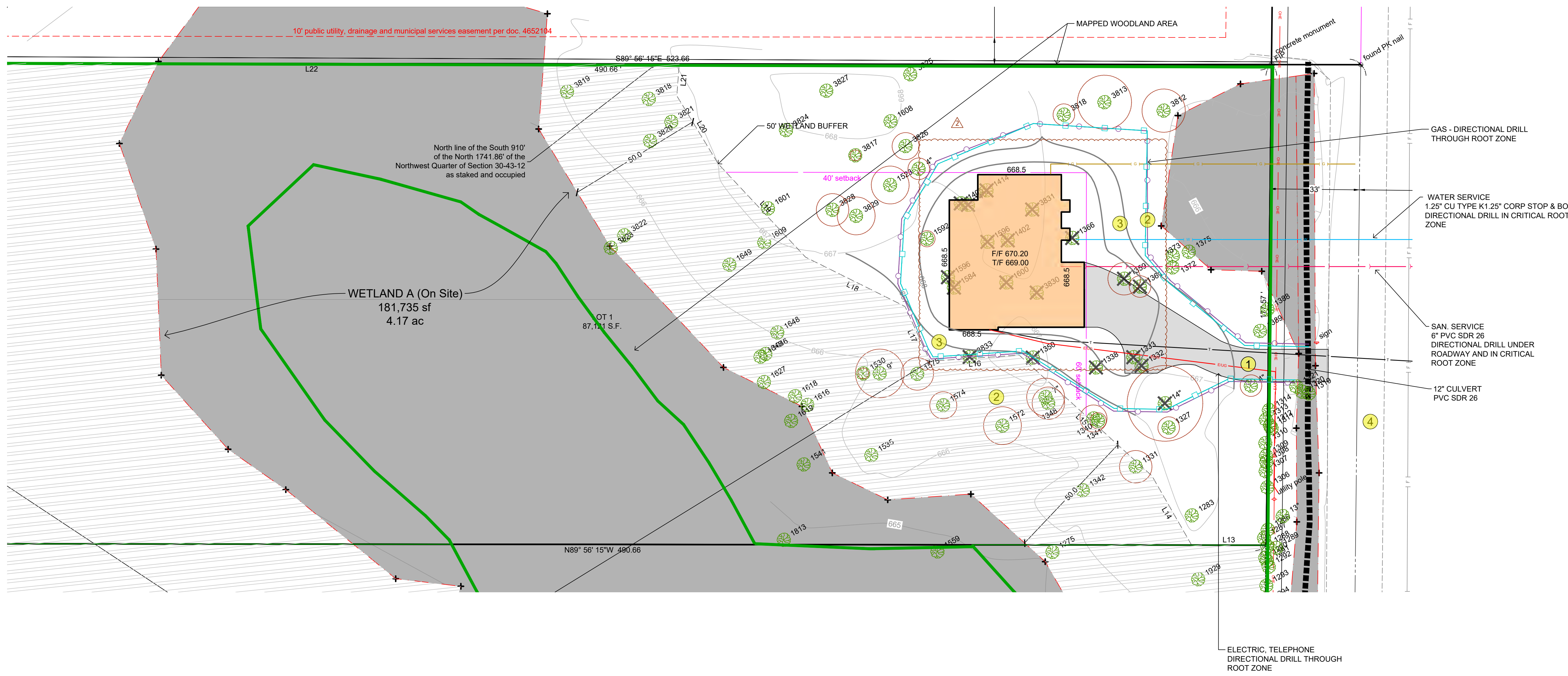
GREEN BUILDING TECHNOLOGIES
332 N Deere Park W
Highland Park, Illinois 60035

95-048	Project No.
MGB	Drawn By
Checked By	Checked By

Drawing No.

9

Drawing Name
Conceptual Site Development Plan Lot 1



CONCEPTUAL GRADING PLAN FOR LOT 1 - BUILDING FOOTPRINT AND DRIVEWAY LOCATION TO BE FINALIZED PRIOR TO APPLYING FOR BUILDING PERMIT

WOODLAND AREA SUMMARY

TOTAL PROPERTY AREA	10.24 AC NET
AREA OF MAPPED WOODLAND	6.99 AC
MAPPED WOODLAND IMPACT	
LOT 1	0.200 AC
LOT 2	0.000 AC
LOT 3	0.336 AC
TOTAL	0.536 AC
PERCENT OF MAPPED WETLAND IMPACT	
LOT 1	2.861%
LOT 2	0.000%
LOT 3	4.807%
TOTAL	7.668%

- Notes:
- Downspouts in to splash at grade unless otherwise shown. Provide concrete splash pad at discharge.
 - For downspouts tying into sewer system, provide 2" air gap.

- | | | | |
|---|---|--|-------------------|
| 1 | STABILIZED CONSTRUCTION ENTRANCE
Use existing driveway | | SILT FENCE |
| 2 | TREE PRESERVATION & CONSTRUCTION LIMITS FENCE
Temporary 4' Tall Snow Fence w/ Steel Posts | | TREE FENCE |
| 3 | SILT FILTER FENCE
Shall comply with AASHTO Standard M 288-00 | | |
| 4 | MUD AND DUST CONTROL | | |
| 5 | TEMPORARY INLET PROTECTION
All open lid structures to have Catch All Baskets or approved equal. | | |
| 6 | FINAL STABILIZATION
See Landscape Plan | | |

S:\Project\1400 Saunders Road\1400 Saunders Road Final Engineering.dwg, 7/12/2023 11:26:32 AM, DWG to PDF.pc3
 S:\Project\1400 Saunders Road\1400 Saunders Road Final Engineering.dwg, 7/12/2023 11:26:32 AM, DWG to PDF.pc3
 S:\Project\1400 Saunders Road\1400 Saunders Road Final Engineering.dwg, 7/12/2023 11:26:32 AM, DWG to PDF.pc3

Lot Coverage Table

Lot Coverage Table	Existing (square feet)	Proposed (square feet)
Gross Lot Area (sf)		
Road Easement Area		
Roadway		
Buildings		
Other Coverage		
Total Coverage		
% of Gross Lot Area		
Protected Woodland		
% Impacted		
% Impact Allowed		

[Note: All buildings, driveway (paved or gravel), patios, sidewalks, tennis courts, swimming pools, and other at-grade, non-vegetative improvements shall be considered lot coverage. Above-grade decks shall not be considered lot coverage.]

Person in Charge Note

Person in Charge of Construction Operations:

Name: _____

Address: _____

Mobile (24-hour) telephone number: _____

The above individual shall be responsible for all construction operations on this site, including maintenance of protective fencing and erosion control measures, containment of construction debris, and scheduling of Village inspections. The Person in Charge shall ensure that all contractors and subcontractors working on this project are supplied with copies of the approved plans as necessary. The Person in Charge shall be the sole point of contact for all correspondence or direction from the Village.

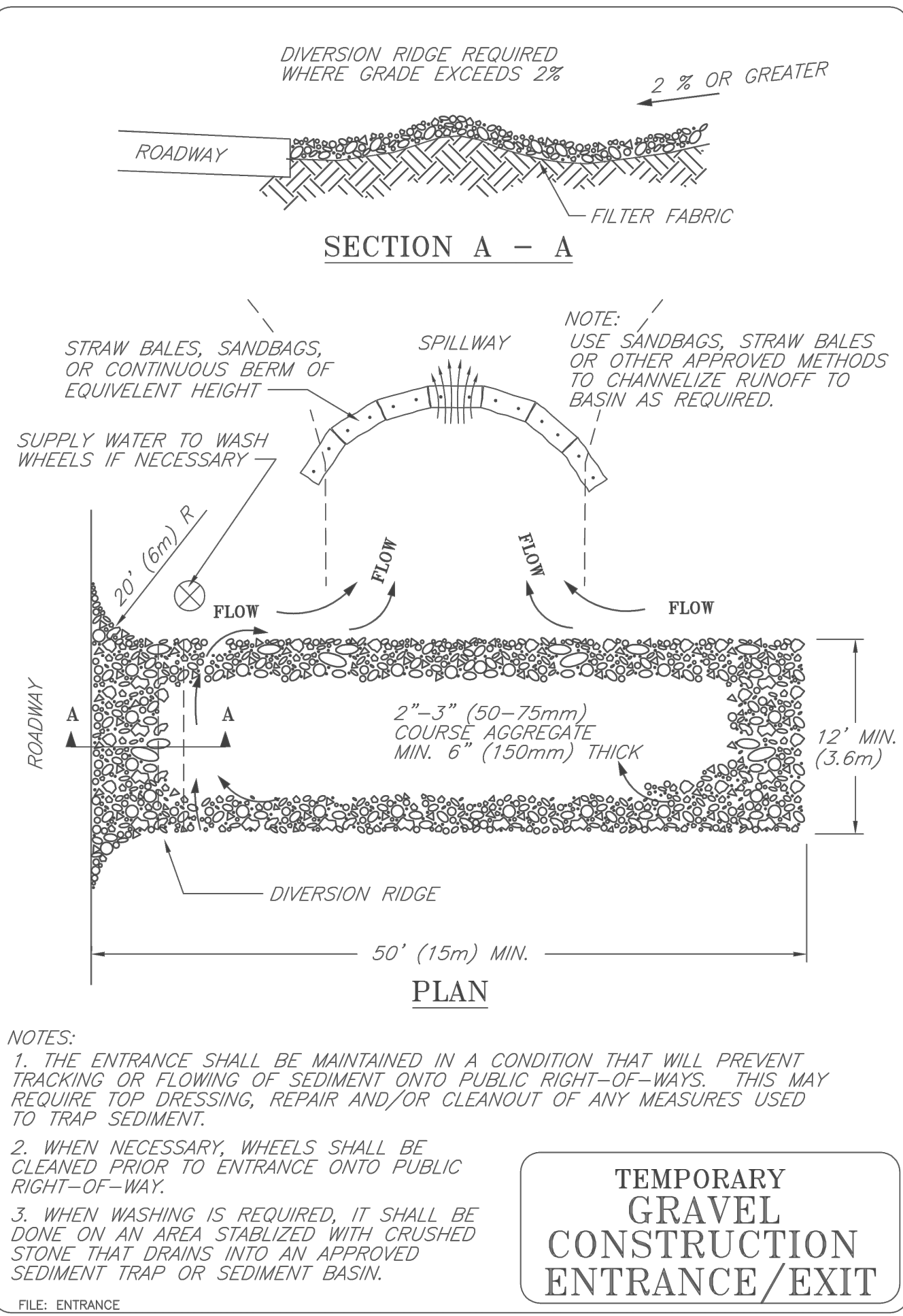
The Person In Charge shall have on the work at all times, as the Owner's agent, a competent English-speaking superintendent capable of reading and thoroughly understanding the Plans and Specifications and thoroughly experienced in the type of work being performed, who shall receive instructions from the Village Building Official or authorized representatives. The superintendent shall have full authority to execute orders or directions of the Village Building Official without delay, and to promptly supply such materials, equipment, tools, labor, and incidentals as may be required.

STANDARD SITE DEVELOPMENT PLAN NOTES

1. No excavation, grading, tree removal, woodland removal, landscaping, or underground utility work (including drainage tiles or buried utility service lines) not shown on this plan shall be allowed.
2. All proposed storm sewers, swales or other drainage improvements shall be constructed and in operation prior to vertical construction.
3. All landscaping shall conform to the grades shown hereon and shall be limited to the area within the construction limits shown. Any work outside the construction limits, within the proposed woodland protection area, or requiring additional grading shall require submittal and Village approval of a separate Landscape Plan.
4. Topography was prepared by _____. Certification of the accuracy of this topography is expressly made a part of the design engineer's certification of this site plan.
5. All excess fill or spoil shall be removed from the site or stored in the location indicated on this plan. Fill or spoil shall not be placed within the proposed woodland protection area.
6. In order to prevent Soil Erosion all areas disturbed during construction shall be seeded, sodded, or planted in some approved type of ground cover within thirty days after grading is completed (weather permitting).
7. Sump Pumps shall discharge to a road ditch, swale, or storm sewer. Sump Pumps shall not discharge to an existing wetland.
8. Driveway culverts shall be a 12" diameter (unless requested to be larger by the Village Engineer) of Reinforced Concrete Pipe with flared end sections and shall extend a minimum of four (4) feet past the edge of the driveway for each one (1) foot of depth below the finished surface on each side.
9. Overhead sewers systems are required regardless of the sewer depth.
10. Sanitary sewer service shall be PVC SDR 26 conforming to ASTM D2241 with joints conforming to ASTM D3139. The proposed sewer service may be connected to the existing sanitary sewer service if a current videotape is provided to the office of the Village Engineer for review and, in the sole opinion of the Village Engineer, the existing service is in sound condition. If the existing service is not sound, the new service must connect to the existing wye or tee at the main.
11. If, after construction is completed, the drainage on this site proves to be inadequate or flows onto adjacent property from impervious areas, in the opinion of the Village Engineer, a swale or storm drain shall be constructed by the Owner to the nearest feasible drainage outlet.
12. All vehicles, construction equipment, and material associated with this development shall only be parked, operated and stored on the subject property, outside of the limits of the proposed woodland protection area.
13. One copy of the approved site development plan shall be on site throughout construction operations.
14. Maximum vehicle weight limit on all streets in the Village is 6 tons per axle.

TREE AND WOODLAND PROTECTION PLAN SHEET NOTES

1. Existing Protected Woodland and trees/shrubs to remain in place shall be protected against unnecessary cutting, breaking or skinning of roots, skinning and bruising of bark, smothering by stockpiling of construction materials or excavated materials, excess foot or vehicular traffic or parking of vehicles within the woodland protection area.
2. The woodland protection area shall be fenced off with a chain-link fence during construction and landscape implementation. The critical root zone of all protected trees & shrubs extending beyond the woodland protection area and into the construction area shall be protected with a fence, a minimum of 6 inches of wood mulch, or other protective measure as approved by the Village.
3. Protected Woodland and trees/shrubs are damaged by construction operations shall be repaired or replaced in a manner acceptable to the Village.
4. No construction equipment shall be operated or construction material or excavated material stored outside the protective fencing or in areas of protected woodland.
5. Removal of dead, diseased, and/or invasive species of trees and shrubs within the woodland protection area shall be done by hand as not to disturb the protected trees/shrubs and ground layer. Stumps shall be cut to within 2 inches of the soil surface or ground out. Cut material shall be either disposed of off-site, burned in piles as approved by the Village, and/or mulched (outside the woodland protection area). The main trunk of larger trees can be left within the woodland protection area as laydowns to simulate natural decay processes.



SITE DEVELOPMENT PLAN CERTIFICATES

I, _____, owner of the property shown on this drawing in Riverwoods, Illinois, do hereby certify that I am familiar with the plan and certify that all work shall be done in accordance with the said plan.

Owner _____ Date _____

I, _____, P.E., have prepared this Site Development Plan and hereby attest to it's accuracy.

Design Engineer _____ Date _____

Approved By: _____

Village Engineer _____ Date _____

Approved By: _____

Village Ecologist _____ Date _____

LANDSCAPE/WOODLAND PROTECTION PLAN CERTIFICATE

I, _____, owner of the property shown on this drawing in Riverwoods, Illinois, do hereby certify that I have reviewed this plan and understand that (a) the plan does not authorize work to be performed in the area marked as "protected woodland" and (b) it is a violation of Chapter 6 of Title 9 of the Riverwoods Village Code to remove protected canopy trees, subcanopy/understory trees & shrubs, and ground layer vegetation from protected woodland areas. Traditional turf grass lawns, mulch and other formal landscaping are not allowed in these areas. Violations are subject to a fine of up to \$750 per day until the violation is remedied.

I understand that to reduce damage to existing vegetation on the site, the landscape/woodland and tree protection notes on this plan must be observed. Since the area not falling within protected woodland may be disturbed during construction, a detailed Landscape Plan showing restoration of acceptable ground cover must be submitted for Village review a minimum of 30 days prior to requesting occupancy of the residence.

The property may be eligible for participation in cost-share programs the Village has adopted to encourage enhancement of protected woodlands.

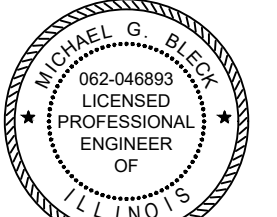
Owner _____ Date _____

Printed Name _____

ISSUED DATE	ISSUED FOR
06.09.2023	Bid & Permit
06.20.2023	Woodland Plan/Wetland
07.12.2023	Welland Review

PROFESSIONAL SEAL

"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."



Michael G. Bleck
Michael G. Bleck, PE 06.09.2023

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Illinois Professional Design Firm 194.000911

GREEN BUILDING TECHNOLOGIES

332 N Deere Park W
Highland Park, Illinois 60035

95-048	Project No.
MGB	Drawn By
Checked By	Checked By

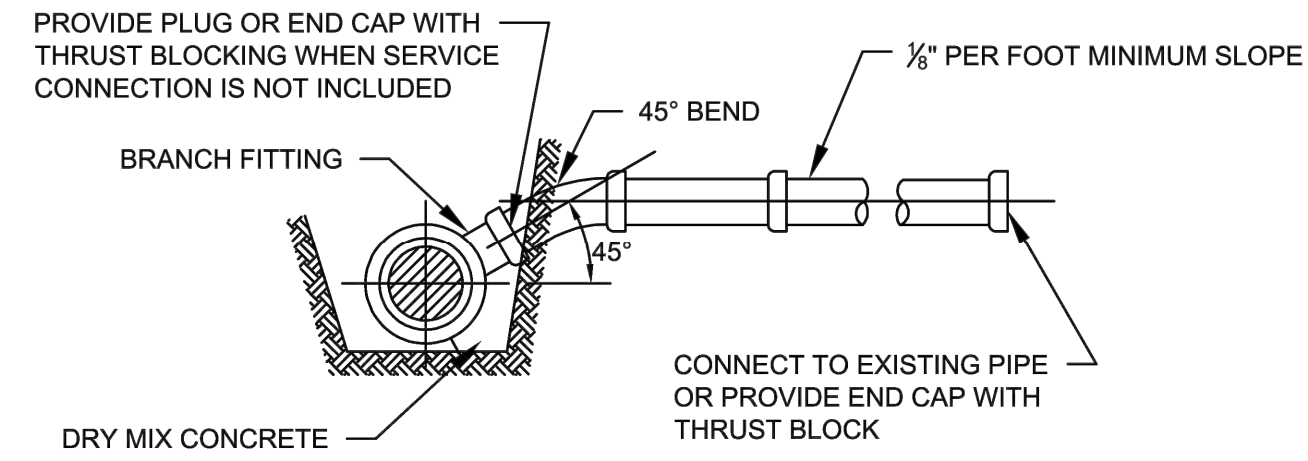
Drawing No.

10

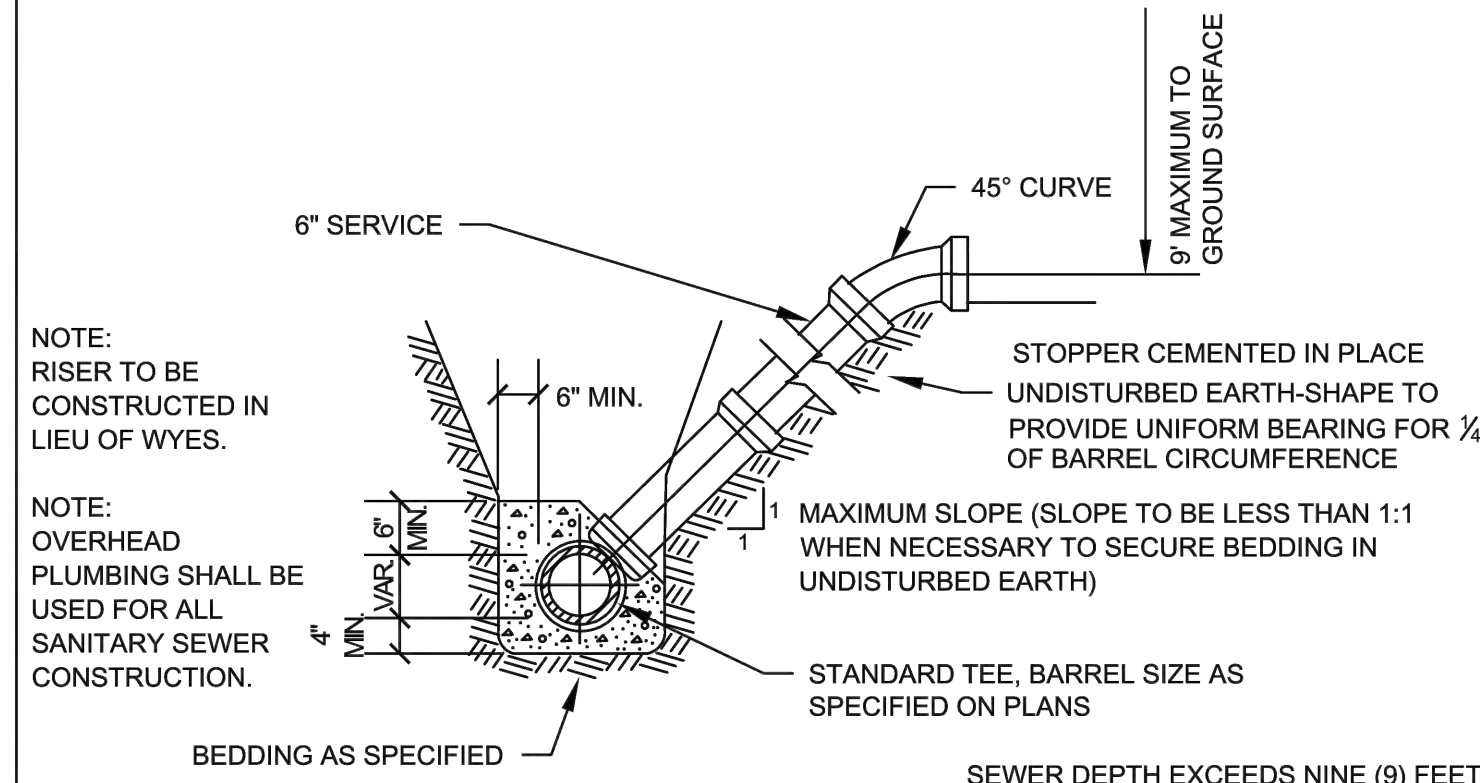
Drawing Name

Certificates

SANITARY SERVICE DETAILS



SANITARY SEWER SERVICE DETAIL

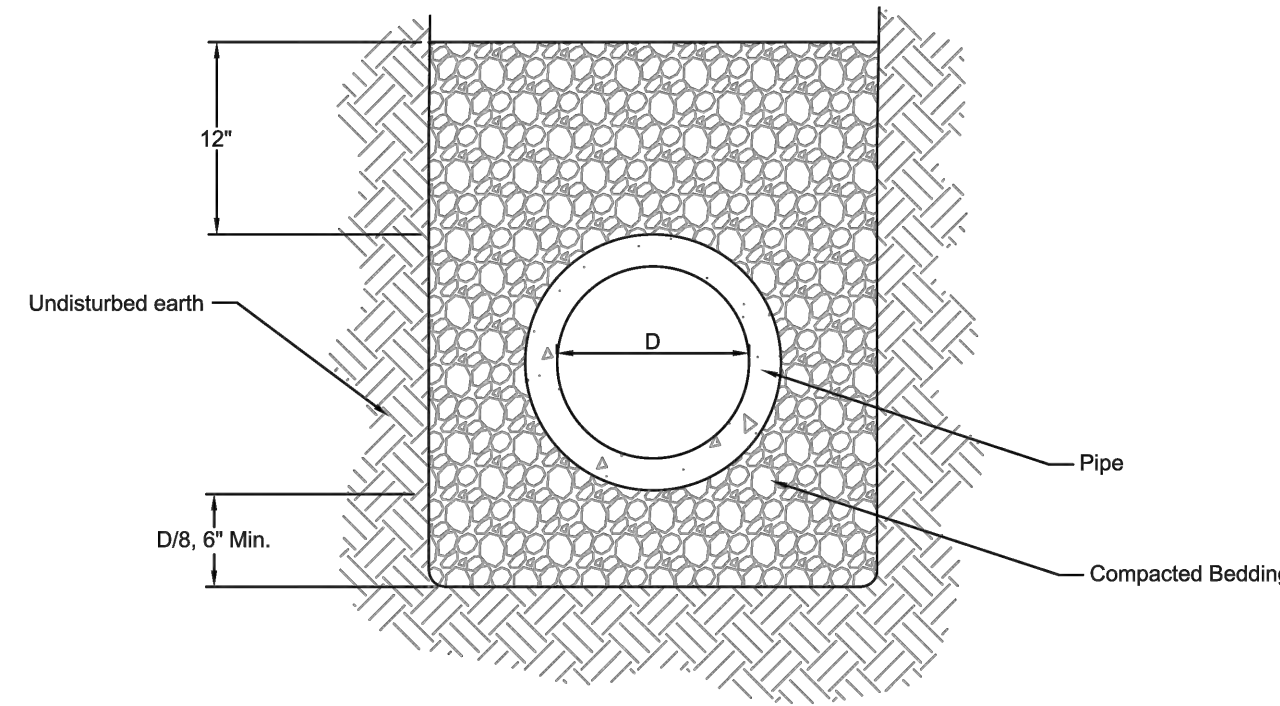


SANITARY SEWER SERVICE RISER DETAIL

BECO Standard 333900.01
Approved by: MGB
Date: 07/01/2015
S:\STANDARDS & DETAILS\Library BEC\San Service 333900-01



SANITARY SEWER BEDDING DETAIL



NOTES:

- A. Bedding and granular backfill shall be compacted to a minimum of 95% standard density in accordance with ASTM D698.
- B. Compacted bedding shall be crushed granular material meeting gradation CA-6.
- C. Excavated trench backfill shall be compacted to a minimum of 90% standard density in accordance with ASTM D698.
- D. Granular trench backfill shall be installed under and within 3 feet of proposed pavements as shown on typical cross-sections. Granular trench backfill shall conform to FA-6 or CA-6 compacted to 95% standard density in accordance with ASTM D698.
- E. Backfill under existing pavements, where an open cut of the pavement has been shown in the plans, shall be flowable fill which meets the IDOT standards of controlled low strength material (CLSM) mixture 1. Install 12" of compacted granular trench backfill over sewer before placing the flowable fill.

BECO Standard 333100.01
Approved by: MGB
Date: 07/01/2015
S:\STANDARDS & DETAILS\Library BEC\Sanitary Bed 333100-01



**NOTICE OF CONSTRUCTION
PERMIT NO. <XXXX>**

<ADDRESS>

PERSON IN CHARGE OF OPERATIONS

<NAME>

24-HOUR CONTACT NUMBER

<24-HOUR PHONE NUMBER>

ALLOWABLE HOURS OF OPERATION

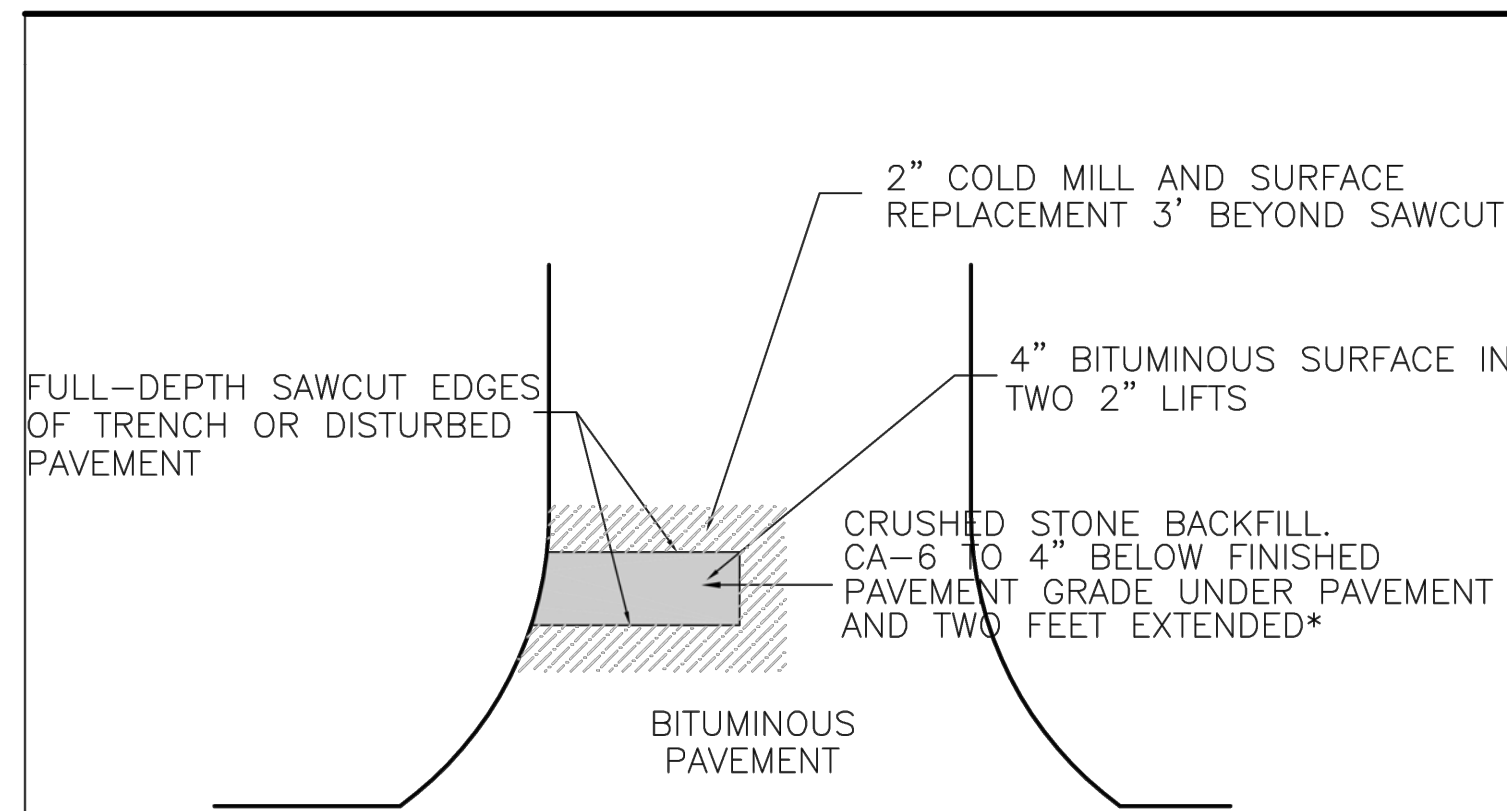
MONDAY-FRIDAY 7:30 AM - 7:00 PM

SATURDAY 8:30 AM - 5:00 PM

NO WORK ON SUNDAY/HOLIDAYS

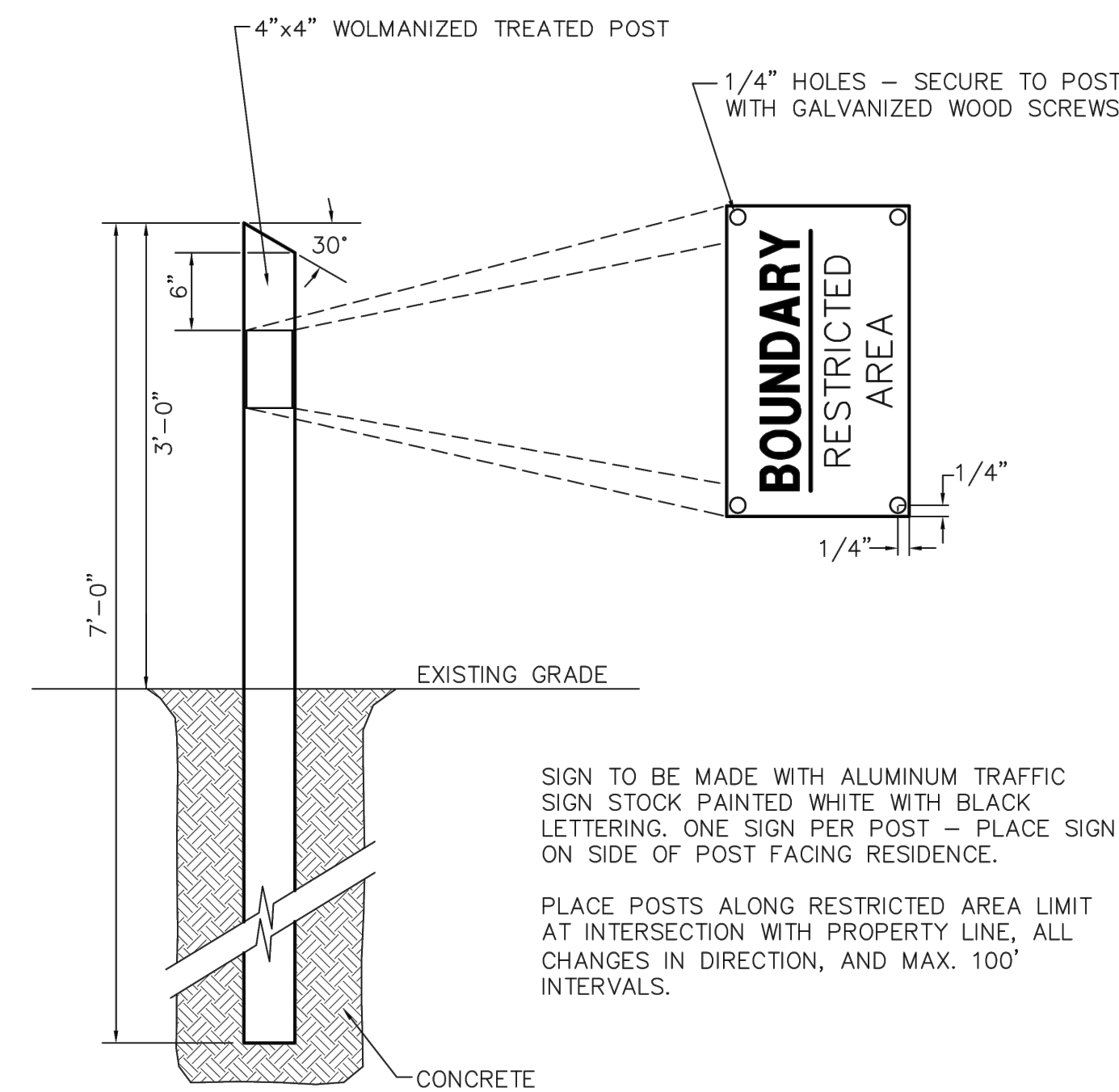
**6 TONS PER AXLE MAXIMUM
ON ALL VILLAGE STREETS**

*48" x 48" ALUMINUM SIGN.
1.5-2" BLACK LETTERS ON WHITE BACKGROUND*



*FLOWABLE FILL TO 2" BELOW FINISHED SURFACE IN COUNTY ROADS

BITUMINOUS PAVEMENT RESTORATION DETAIL



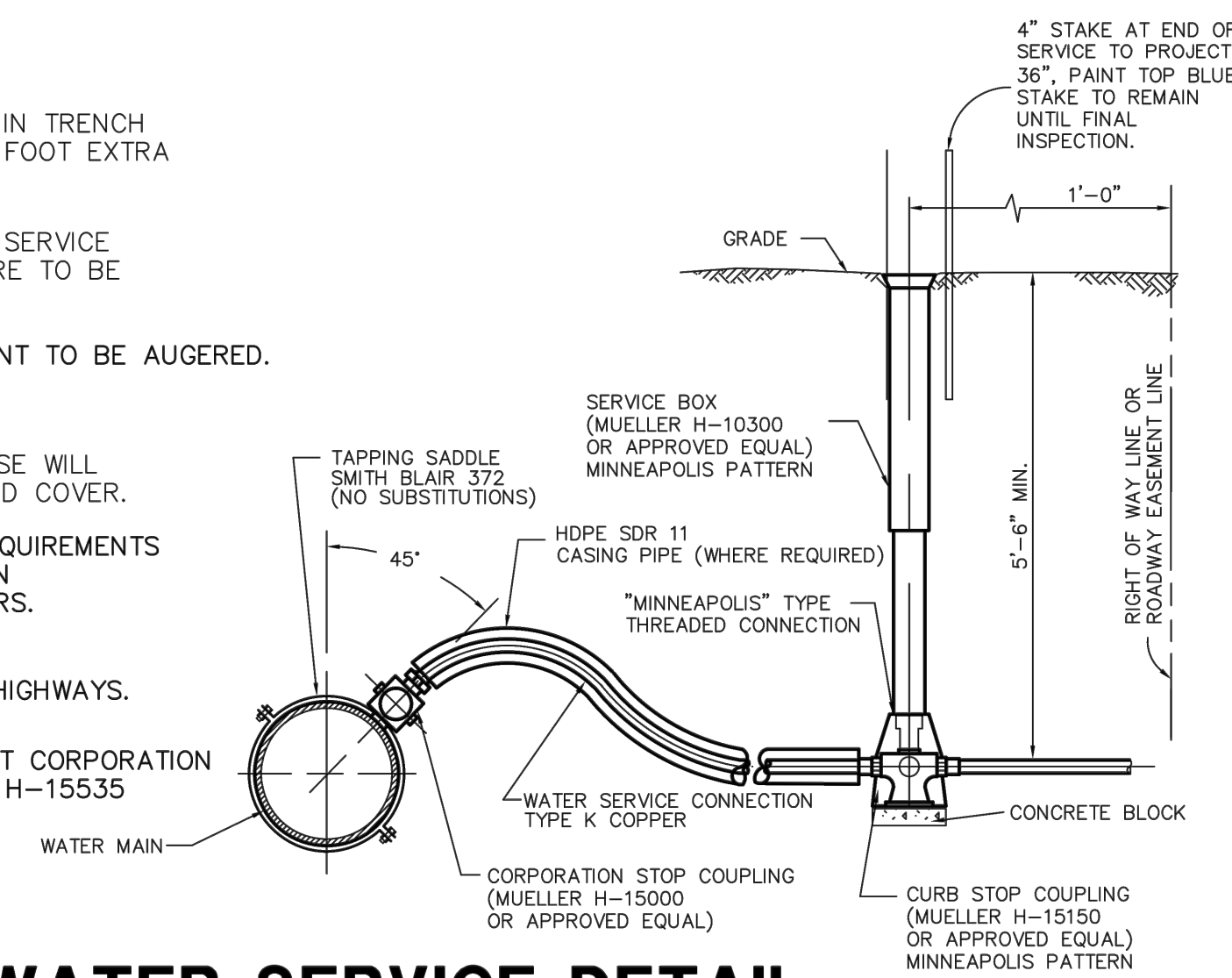
SIGN TO BE MADE WITH ALUMINUM TRAFFIC SIGN STOCK PAINTED WHITE WITH BLACK LETTERING. ONE SIGN PER POST - PLACE SIGN ON SIDE OF POST FACING RESIDENCE.

PLACE POSTS ALONG RESTRICTED AREA LIMIT AT INTERSECTION WITH PROPERTY LINE, ALL CHANGES IN DIRECTION, AND MAX. 100' INTERVALS.

BOUNDARY POST DETAIL

NOTES:

1. SERVICE PIPE TO BE WEAVED IN TRENCH TO ALLOW AT LEAST ONE (1) FOOT EXTRA LENGTH IN ITS LENGTH.
2. UPON COMPLETION OF WATER SERVICE CONSTRUCTION, ALL BOXES ARE TO BE SET AT FINISHED GRADE.
3. ALL SERVICES UNDER PAVEMENT TO BE AUGERED.
4. JET ALL TRENCHES.
5. ALL WATER SERVICES TO HOUSE WILL HAVE MINIMUM 5.5' OF GROUND COVER.
6. IEPA MINIMUM SEPARATION REQUIREMENTS MUST BE MAINTAINED BETWEEN SERVICES AND EXISTING SEWERS.
7. INSTALL CASING PIPE ON ALL SERVICES CROSSING COUNTY HIGHWAYS.
8. ABANDON EXISTING SERVICE AT CORPORATION USING COPPER DISC MUELLER H-15535 AND FLARE NUT.



WATER SERVICE DETAIL

BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 W bleckeng.com

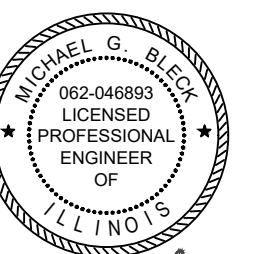
1400 Saunders
Road
Riverwoods, IL

ISSUED DATE ISSUED FOR

06.09.2023	Bid & Permit
06.20.2023	Woodland Plan/Wetland
07.12.2023	Welland Review

PROFESSIONAL SEAL

"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."



Michael G. Bleck
Professional Engineer
of
ILLINOIS

Michael G. Bleck, PE 06.09.2023

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Illinois Professional Design Firm 154.000911

GREEN BUILDING TECHNOLOGIES

332 N Deere Park W
Highland Park, Illinois 60035

95-048 Project No.

MGB Drawn By

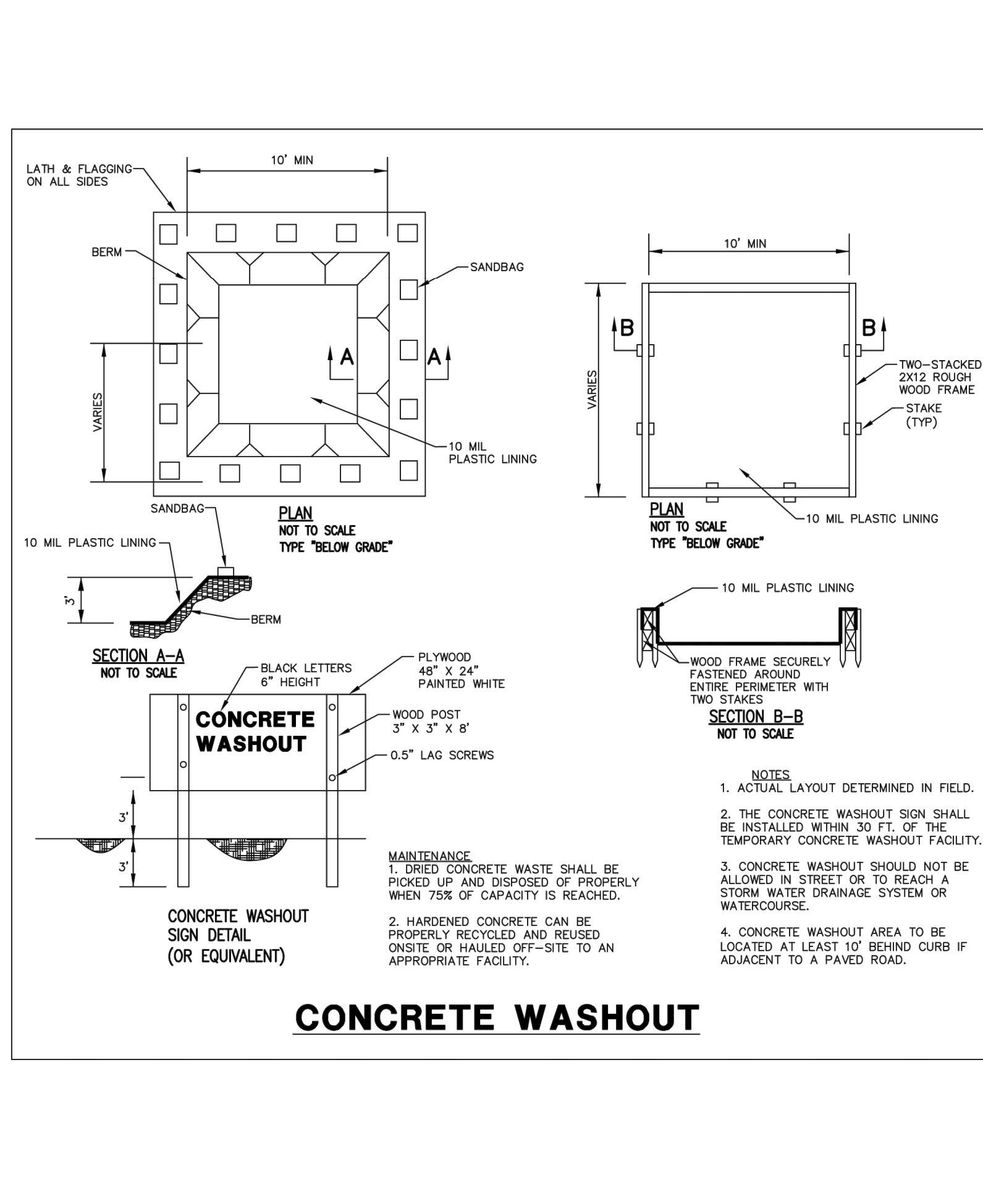
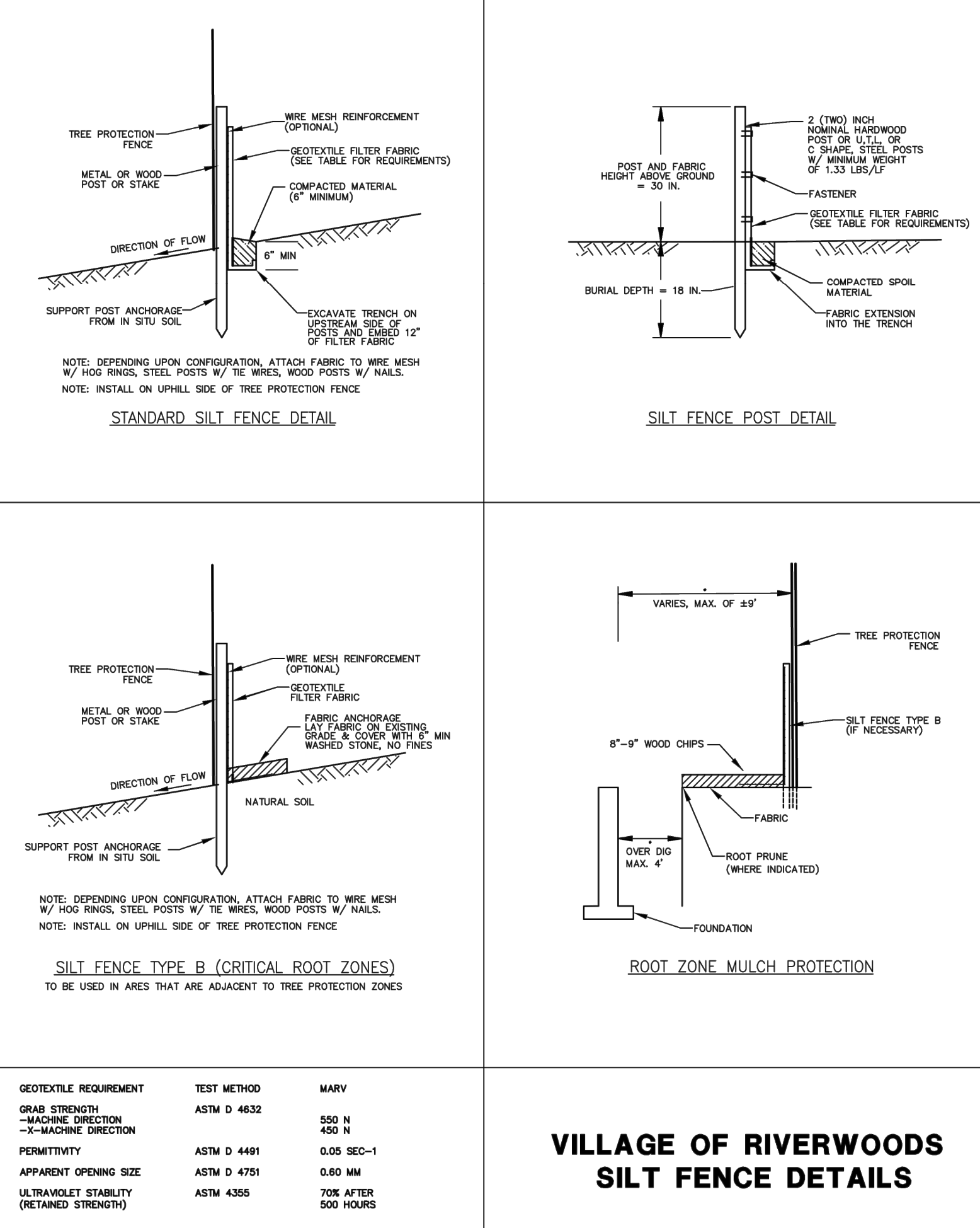
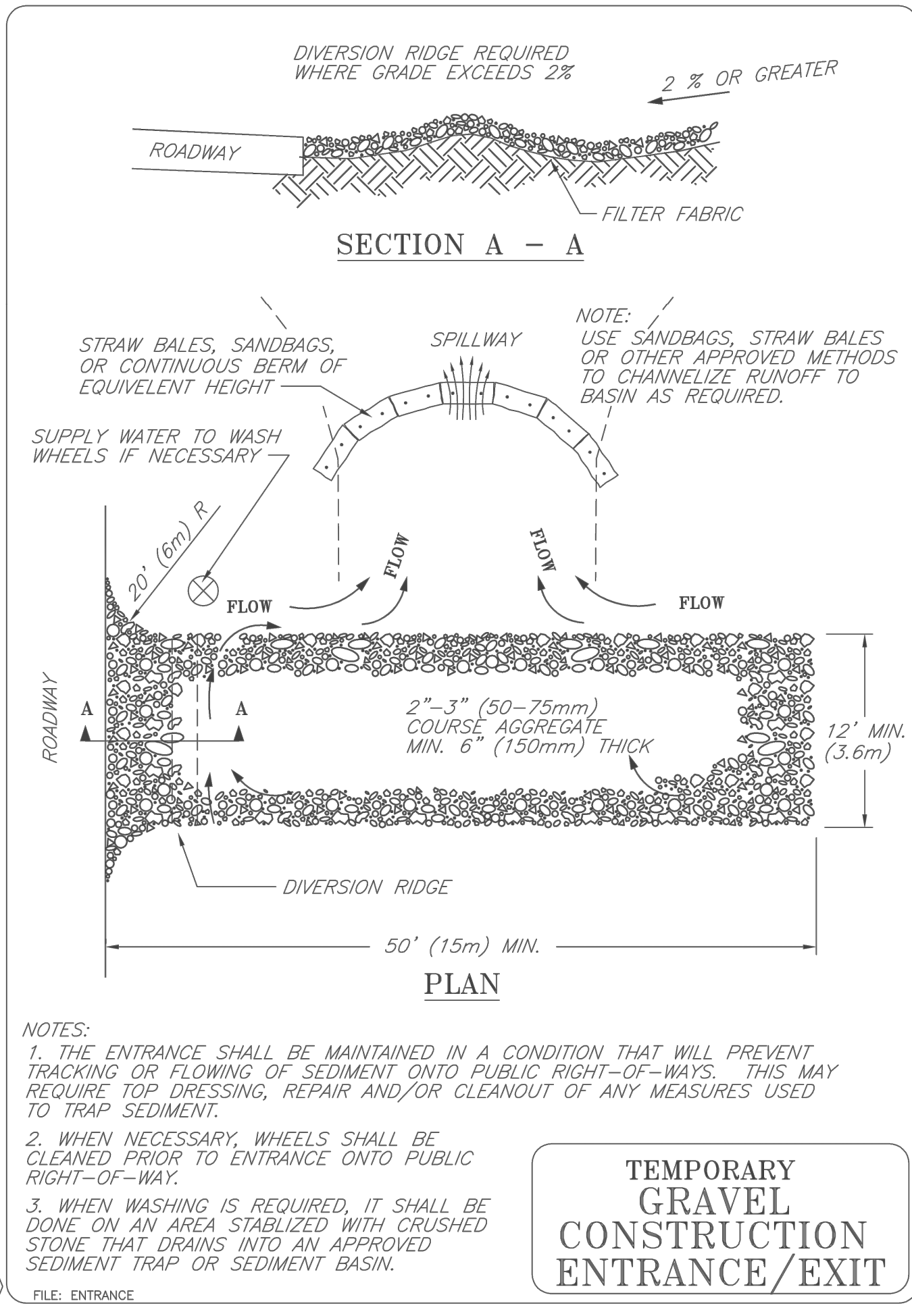
Checked By Checked By

Drawing No.

11

Drawing Name

Details



LAKE COUNTY STORMWATER MANAGEMENT COMMISSION - SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES

- A. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
- B. FOR THOSE DEVELOPMENTS THAT REQUIRE A DESIGNATED EROSION CONTROL INSPECTOR (DECI), INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
- UPON COMPLETION OF SEDIMENT AND RUNOFF CONTROL MEASURES (INCLUDING PERIMETER CONTROLS AND DIVERSIONS), PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - AFTER EVERY SEVEN (7) CALENDAR DAYS OR STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- C. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- D. A STABILIZED MAT OF CRUSHED STONE MEETING IDOT GRADATION CA-1 UNDERLAIN WITH FILTER FABRIC AND IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, OR OTHER APPROPRIATE MEASURE(S) AS APPROVED BY THE ENFORCEMENT OFFICER, SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- E. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN.
- F. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR REDISTURBANCE.
- G. ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR WETLANDS AND DESIGNATED BUFFERS.
- H. SLOPES STEEPER THAN 3H:1V SHALL BE STABILIZED WITH APPROPRIATE MEASURES AS APPROVED BY THE ENFORCEMENT OFFICER.
- I. APPROPRIATE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES BETWEEN THE NORMAL WATER LEVEL AND HIGH WATER LEVEL.
- J. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
- K. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DISCHARGES SHALL BE ROUTED THROUGH AN APPROVED ANIONIC POLYMER DEWATERING SYSTEM OR A SIMILAR MEASURE AS APPROVED BY THE ENFORCEMENT OFFICER. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE ENFORCEMENT OFFICER, OR APPROVED REPRESENTATIVE, MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- L. IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS ANIONIC POLYMERS OR FILTRATION SYSTEMS MAY BE REQUIRED BY THE ENFORCEMENT OFFICER.
- M. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
- N. ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- O. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, ENFORCEMENT OFFICER, OR OTHER GOVERNING AGENCY.

BLECK
engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 W bleckeng.com

1400 Saunders Road
Riverwoods, IL

ISSUED DATE	ISSUED FOR
06.09.2023	Bid & Permit
06.20.2023	Woodland Plan/Wetland
07.12.2023	Wetland Review

PROFESSIONAL SEAL

"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that of such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."

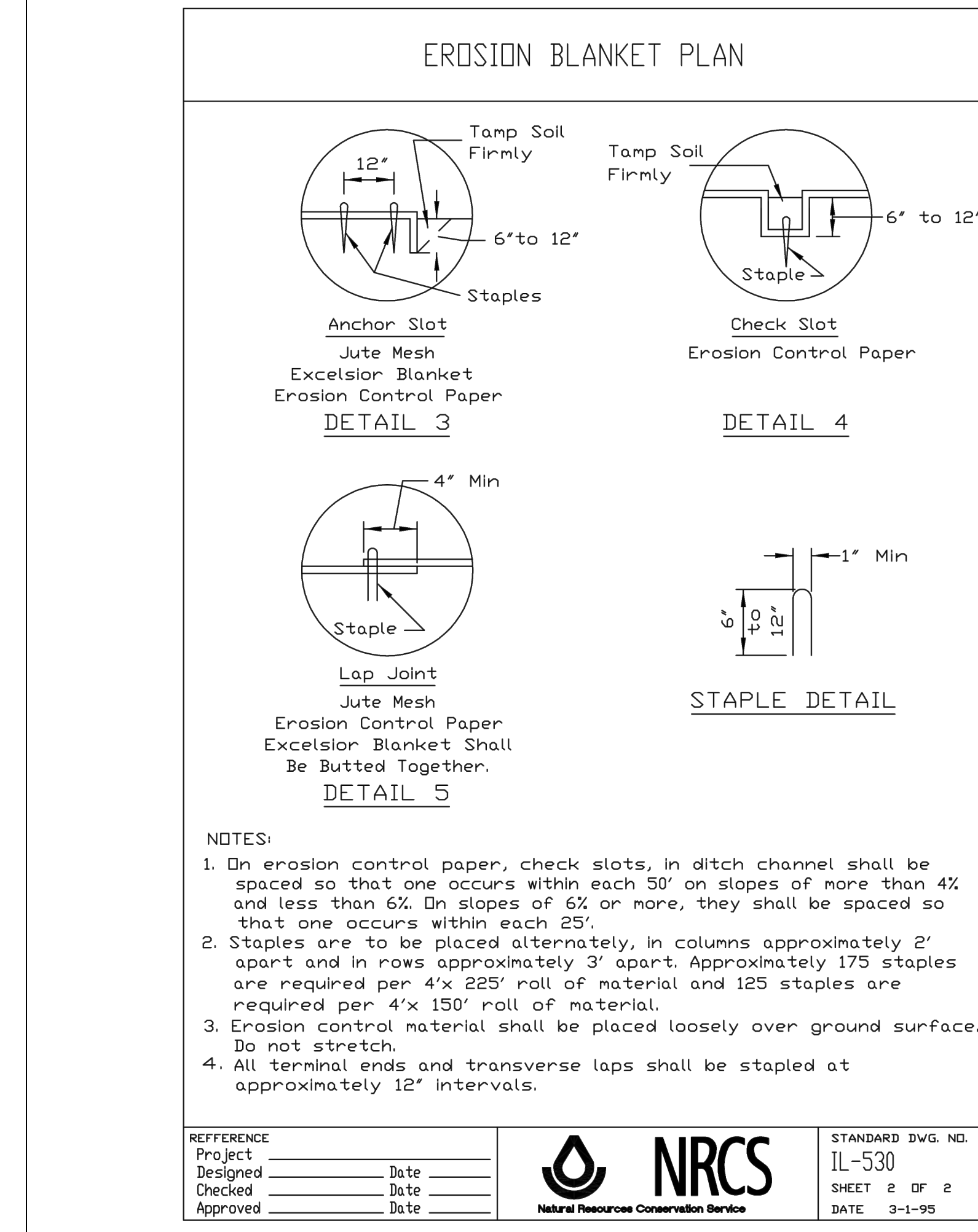
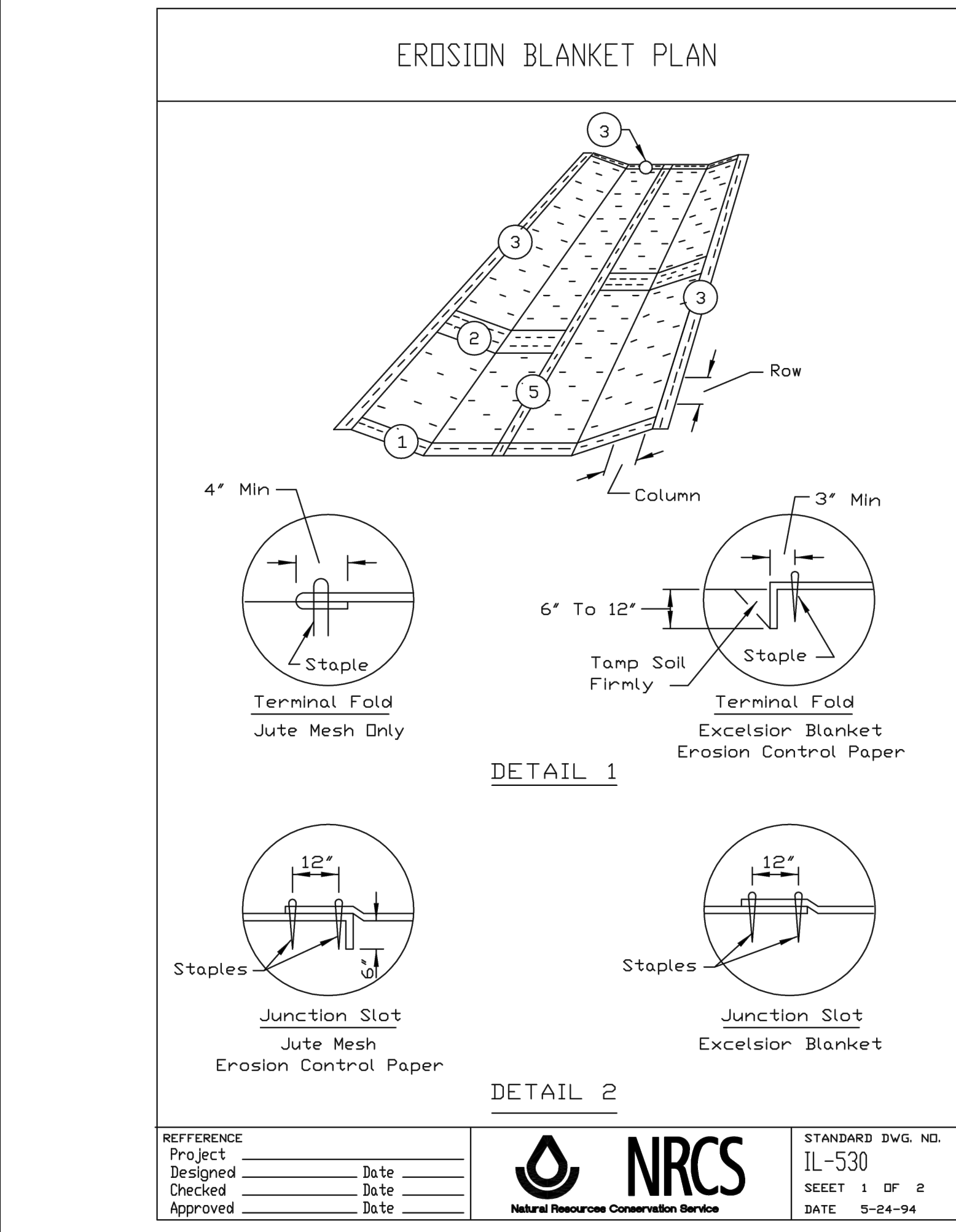
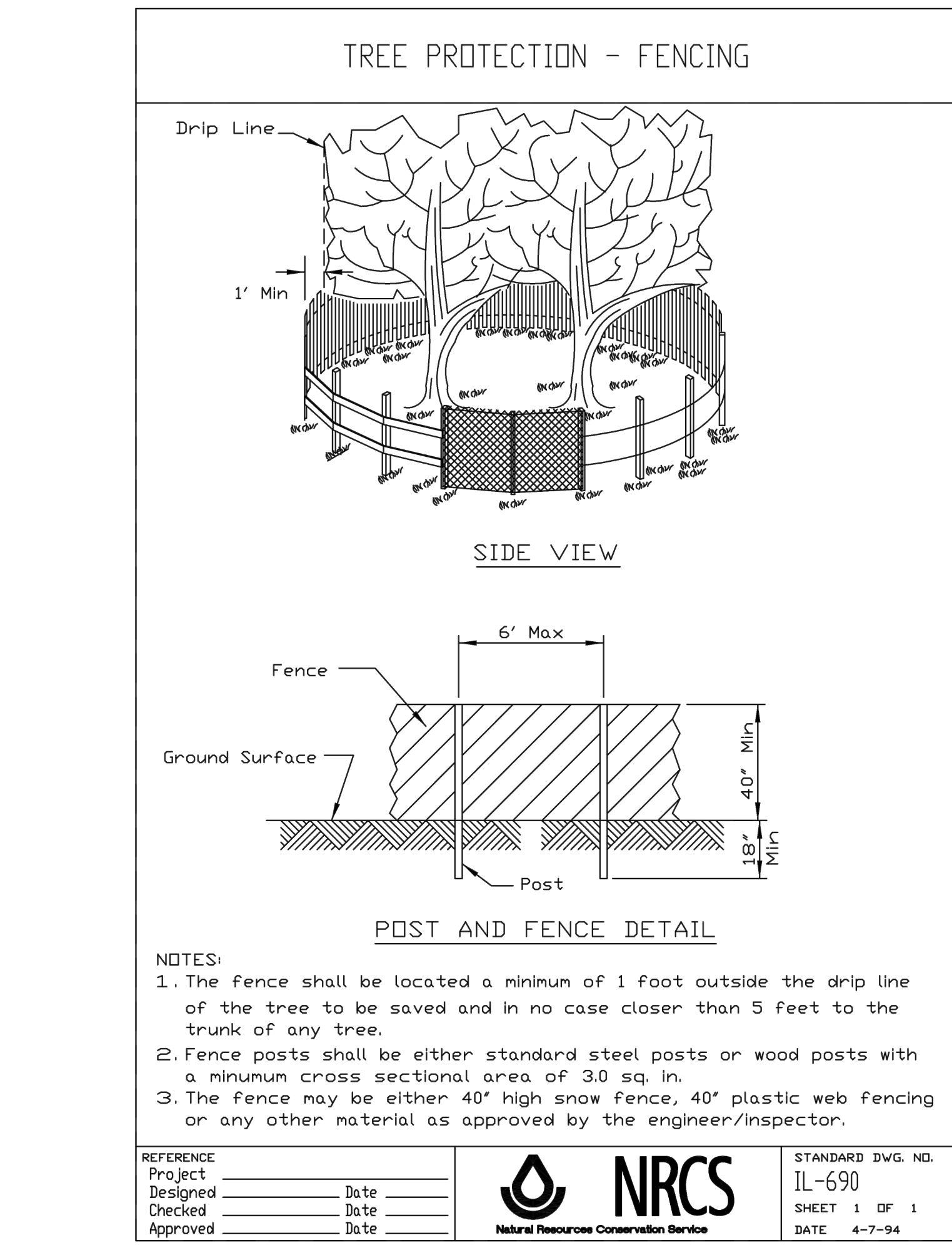
Michael G. Bleck, PE 06.09.2023
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Illinois Professional Design Form 194.000911

GREEN BUILDING TECHNOLOGIES
332 N Deere Park W
Highland Park, Illinois 60035

95-048	Project No.
MGB	Drawn By
Checked By	Checked By

Drawing No. 12

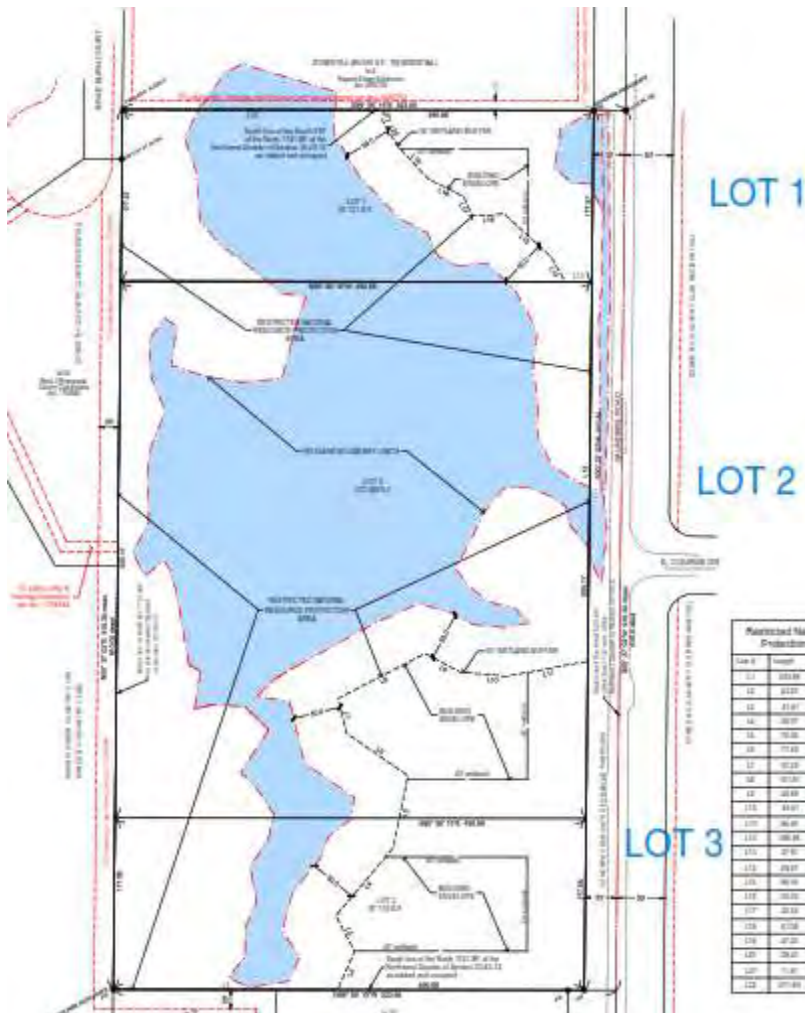
Soil Erosion & Sediment Control Details



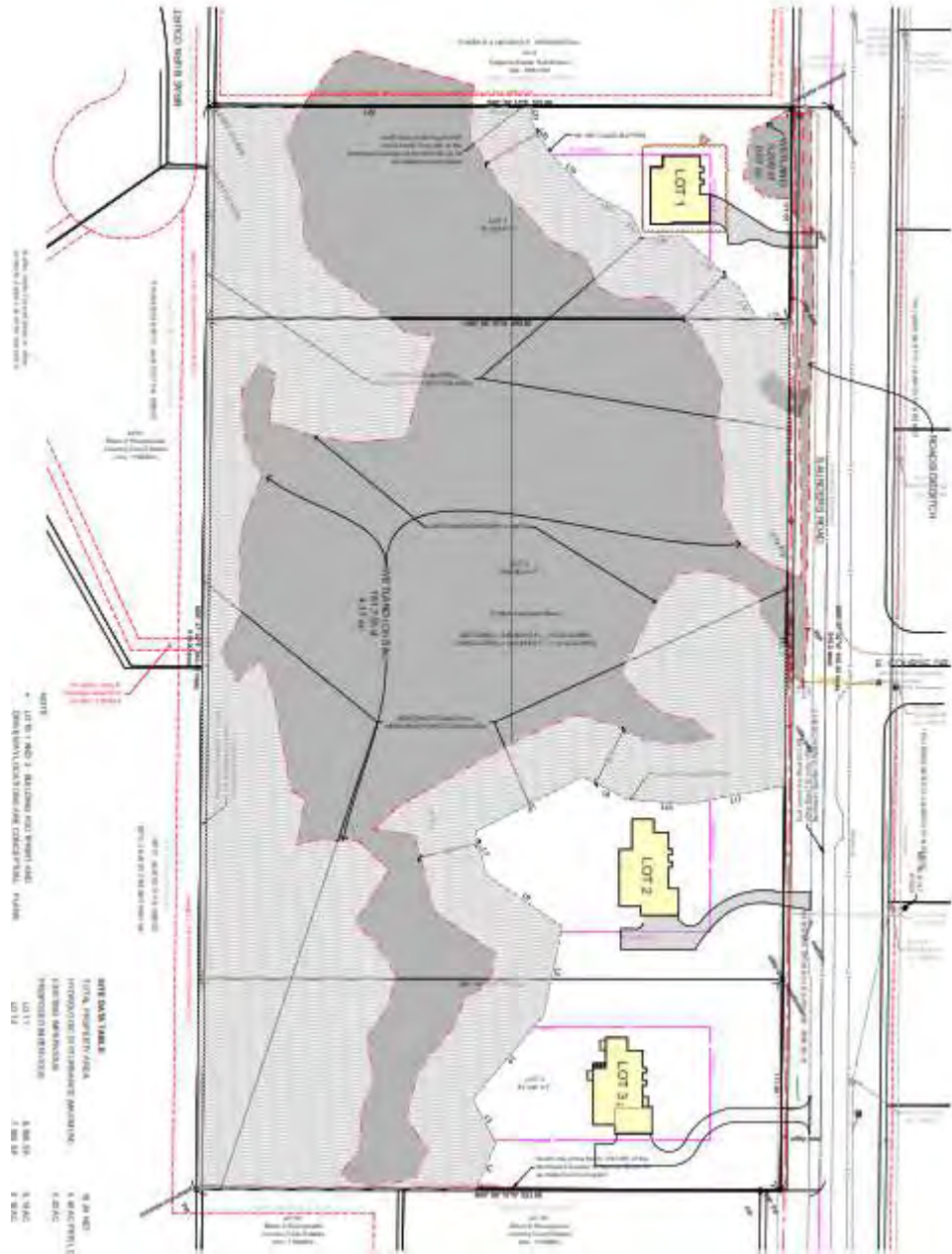
July 27, 2023

Staff Report
Plat of Subdivision Application for 1400 Saunders Road

Neil Fortunato, owner of Green Building Technologies, Inc., acquired a parcel of approximately 10.24 acres located at 1400 Saunders Road. The subject property has not previously been subdivided. The site is located in the R-2 single family district, in which each lot must contain no less than 80,000 square feet. The applicant proposes to divide the tract into three buildable lots. The applicant intends to build one house for his family on Lot 2 and then sell the remaining lots. This image is copied from the plat:



Lot 2 is oversized because it contains a high percentage of the protected wetlands on property. Each lot will have an independent driveway to Saunders Road and obtain Village water and sewer. The site plan below shows the intended location of the homes within the building setbacks – all of which provide for the required minimum 40 foot side yard and 60 foot front yard in the R-2 district.



The Plan Commission’s role in this process is to hold a public meeting, review the application, and provide a recommendation to the Village Board, which makes a final decision on the matter. The approval of subdivision plats is governed by the Village Subdivision Control Ordinance. Typically, the process can require a preliminary and final plat but in simpler residential divisions, the process streamlined. In this

instance, the applicant has been through many technical submissions due to the wetlands on site, and at this time staff has had an opportunity to review the preliminary submittals along with the final plat.

The submittals have included:

- Preliminary plat of subdivision
- Tree survey
- Soil borings report
- Sign off letter from McHenry -Lake County Soil Conservation District
- Wetland assessment report, and inspections by the Village's outside wetland consultant, Jedd Anderson, at Christopher Burke Engineering.
- Civil engineering plans by Bleck Engineering Company, consisting of the following sheets:

1. Cover Sheet
2. General Notes
3. Existing Conditions
4. Tree Inventory
5. Overall Plan
6. Site Development Plan Lot 3
7. Woodland / Tree Protection & Landscape Plan
8. Conceptual Site Development Plan Lot 2
9. Conceptual Site Development Plan Lot 1
10. Details / Certificates
11. Details
12. Details

The Village Ecologist has reviewed the tree inventory and woodland/tree protection plans. The Village Engineer has reviewed the civil engineering plants. The Village Wetlands Consultant has approved the delineation of the wetlands and the wetland buffer areas as shown on the site plan.

The wetlands on the site are being fully preserved in accordance with applicable law. To protect wetlands, the law also requires the establishment of a wetland buffer area. In this area, native plantings are maintained to better filter and regulate the flow of runoff into the wetlands. In some cases, the wetland buffer is set at 100 feet – in other cases, the overall buffer area can be reduced to 50 feet. Jedd Anderson's letter accompanying this submittal indicates why he has approved a 50-foot buffer next to portions of the wetlands. The Village has further stipulated that an additional 10 feet of regular turfgrass should be planted in a ten (10) foot zone around each house to create an appropriate area in which to move around the house without disturbing the buffer area.

To safeguard the protections afforded to the wetlands and wetland buffer areas, the Village and Lake County require that certain permanent restrictive covenants be recorded. The Village has provided a template of these restrictions in the form of a Declaration of Covenants, Conditions, Restrictions and Easements. This template has been used in all recent subdivisions in the Village with wetlands.

With respect to stormwater detention, the Village Engineer has asked that there be added to the plat a stated cap on impervious surface for each lot – which would ensure that future stormwater detention would not be required. If the cap is not provided, then a discussion about reserving easements and space

for future detention would become necessary. The detention issue arises after the total new impervious area on the tract exceeds a given amount.

In the case of protected woodlands for new subdivisions, the allowable removal percentage of protected woodland (20%) is required to be apportioned among the three lots so that in the aggregate the limitation is not exceeded for the tract as whole.

It should be noted that the applicant entered into an extensive woodland restoration program with the advice of the Village Ecologist before applying for the subdivision approval. Invasive undergrowth and species have been removed and the site has already been enhanced.

The review letters of the Village Engineer, Village Ecologist, Village Wetlands Consultant and Village Attorney are attached.

Based on the review letters from consultants included with this memo, the recommendation is to approve the final plat with conditions as stated in the review letters and forward the plat to the Village Board for review and consideration.

Russ Kraly
Director of Community Services

July 27, 2023

Mr. Russell Kraly
Village of Riverwoods
300 Portwine Rd.
Riverwoods, Illinois 60015

Re: 1400 Saunders Road
Green Building Technologies Subdivision
Plat of Subdivision Review – Approved with conditions

Dear Russ:

Our office is in receipt of the following documents relating to the preliminary engineering and plat for the above referenced property:

- Final Engineering Plans, prepared by Bleck Engineering, dated July 12, 2023.
- Final Subdivision Plat, prepared by Bleck Engineering, dated April 21, 2023.

At this time, we recommend plat of subdivision approval with conditions which are listed below:

Engineering Review:

1. Revise plat to show building envelopes which are shown on the final engineering plans.
2. Distances to the nearest established street lines or official monuments (not less than 3') which shall be accurately described on the plat.
3. Township and section lines and Municipal boundaries accurately tied to the lines of the subdivision by distances and angles.
4. Building setback lines accurately shown with dimensions, not text stating the distance.
5. Provide a dedicated impervious allocation for each lot. This shall be documented on the approved plat for stormwater purposes.
6. A deed restriction shall align with the determined buffer limits of the wetland.
7. Once final grading is submitted, a drainage easement may be required located on shared property lines to convey runoff for adjacent properties to outlet either to the east or west.
8. The review of these documents was for the sole purpose of the plat of subdivision review. Any engineering comments shall be submitted upon formal permit review.

Wetland Review

1. See attached letter from Certified Wetland Specialist.

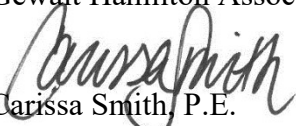
Ecologist Review

1. Provide dedicated area of woodland impact per lot.

2. See attached letter from the Village Ecologist.

If you have any questions, please call me at 847.478.9700 or email csmith@gha-engineers.com.

Sincerely,
Gewalt Hamilton Associates, Inc.


Carissa Smith, P.E.
Village Engineer

To: Russ Kraly (Riverwoods Director of Community Services)
 Cc: Vivian Hofeld (Riverwoods Building Coordinator), Carissa Smith (Village Engineer-GHA)
 From: Steve Zimmerman (BWNR Senior Ecologist/Arborist)
 Date: July 24, 2023
 Re: BWNR Review Updated Memo #1: 1400 Saunders Site Development

On July 26, 2023 BWNR reviewed the Woodland/Tree Protection & Landscaping Plan (Sheet 7) for the proposed residential development at 1400 Saunders Road and prepared by Bleck Engineering Company, Inc. dated July 12, 2023. Note that only Lot 3 was reviewed as Lots 1 & 2 were presented as conceptual only.

- 1) Per Riverwoods Site Development Requirements, a completed Tree Removal Permit application form must be completed and submitted. From the plans it appears that Tree#'s 137, 138, 141, 223, 224, 225, 323, 324, 349, and 3780 are proposed for removal related to Lot 3. In addition, it appears that Tree#'s 226, 3773, and 3794 will have more than 20% of the Critical Root Zone permanently impacted by the proposed development so must also be shown on the Tree Removal Permit application. Tree#'s 138, 141, 223, 224, 225, 226, 323, 324 and 3794 are all protected species that are Condition 4 or better and will require a mitigation fee. Note that Tree# 3794 (24-Inch Red Oak) does not require mitigation because the Critical Root Zone was previously impacted by the driveway. Below is a calculation of the tree mitigation fee.

The Village Tree/Woodland Protection Ordinance allows for onsite ecological mitigation when the tree mitigation fee exceeds \$5,000. \$45,907 was recently invested in the property by the owner to perform Ecological Cost Share work, \$10,970 of which was reimbursed by the Village leaving \$34,937 of onsite ecological mitigation work that can be applied toward the \$26,075 tree mitigation fee and leaving a surplus of \$8,862 that can be applied to potential future tree mitigation on Lots 1 & 2.

Number of Trees	Number of Inches	Size Class	Cost per Inch	Total
1	4	1.5" dbh - 4.9" dbh	\$125.00	\$ 500
3	17	5" dbh - 11.9" dbh	\$150.00	\$ 2,550
1	15	12" dbh - 20.9" dbh	\$175.00	\$ 2,625
3	102	21" + dbh	\$200.00	\$ 20,400
Cost of Mitigation for Highly Desirable Protected Trees:				\$ 26,075

Sincerely,

Steve Zimmerman
 Baxter & Woodman Natural Resources



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

July 14, 2023

Gewalt Hamilton Associates, Inc.
625 Forest Edge Drive
Vernon Hills, IL 60061

Attn: Carissa Smith, PE

Subject: Wetland and Buffer Review #2
1400 Saunders Rd, Riverwoods, Lake County, IL 60015
(CBBEL Project No. 040067.59)

Dear Ms. Smith,

I have completed wetland and buffer review #2 for the above reference site. This review was based on the following information:

- Response to Comments prepared by Bleck, dated July 13, 2023
- Updated buffer plan prepared by Bleck, revision dated July 12, 2023
- Revised Wetland Buffer Submittal, prepared by Bollinger Environmental, Inc., revision dated July 12, 2023
- Final Engineering Plans, prepared by Bleck, revision dated July 12, 2023
- Supplemental emails saved in project folder
- Phone calls

Based on my review of the supplied information, I have no further comments regarding the wetland and buffer provisions of the Ordinance.

Please feel free to contact me if you have any questions regarding this letter.

Sincerely,

A handwritten signature in black ink that reads "Jedd Anderson". The signature is written in a cursive, slightly slanted style.

Jedd Anderson, PWS, CWS, CPESC
Vice President

MEMORANDUM

July 25, 2023

To: Carissa Smith – Gewalt Hamilton Associates

From: Jedd Anderson - CBBEL

Subject: Wetland Buffer Evaluation
1400 Saunders Road, Riverwoods, Lake County, IL
(CBBEL Project No. 110119.00042)

As requested, Christopher B. Burke Engineering, Ltd. (CBBEL) prepared this memorandum to discuss review of wetland buffer and buffer averaging for the above referenced site. Prior to discussion of the review process, we have excerpted the relevant Sections of the Lake County Watershed Development Ordinance.

§505 Buffer Areas

§505.01 Buffer areas shall be required for all areas defined as either Waters of the United States or Isolated Waters of Lake County. Buffer areas are divided into two types, linear buffers and water body buffers.

§505.02 Non-linear high-quality aquatic resources shall have a minimum buffer width of one hundred (100) feet.

505.11 Buffer Averaging

§505.12 The buffer width for a development site may be varied to a minimum of one-half (0.5) of the buffer width required, upon approval of the Enforcement Officer, provided that the total buffer area required is achieved adjacent to the Waters of the United States or Isolated Waters of Lake County being buffered. The consultation process of the IDNR or U.S. Fish & Wildlife Service may override the ability to average buffer areas upon approval of the Enforcement Officer.

§505.13 Preservation of buffer areas shall be provided by deed or plat restrictions.

Background

CBBEL (Jedd Anderson) has been the wetland consultant for Riverwoods since 2004, and I am the wetland reviewer for Kildeer, Lake Barrington, Long Grove, Hawthorn Woods, and Bannockburn.

I was asked to begin review of the site on May 17, 2023. I visited the site on May 22, 2023, and discovered that the buffer and wetland had been cleared of invasive woody species, which I found out later was an approved wetland and buffer restoration project that had been



coordinated with the Village Forester. During my site visit I noted some ruts that had been caused by the equipment which should be addressed as part of that restoration.

My understanding from information provided to me from the Village Forester, the applicant, the applicant's consultants, and based on my experience with other similar sites in the Riverwoods area, the woody vegetation was predominately buckthorn, a very invasive and detrimental non-native species. Its removal and follow up maintenance and monitoring will result in a significant improvement in native species biodiversity.

Wetland Buffer Review Process

The onsite wetlands are mapped by Lake County as being non-ADID (low quality) wetland. However, the large central wetland was found, based on the completed site-specific wetland delineation, to be considered high quality based on the completed floristic inventory. Wetlands found to be high quality are assigned a buffer of 100-feet. As described above in the Ordinance excerpt, "§505.02 Non-linear high-quality aquatic resources shall have a minimum buffer width of one hundred (100) feet."

The smaller wetland located near the road does not receive buffer, per the Ordinance.

It is important to note that the assigned buffer width is a starting point. The Ordinance provides allowances for negotiation of the final approved buffer width based on consideration of the site context, quality, measures to mitigate impacts, consistency with past reviews, etc., through buffer averaging.

Under buffer averaging, a buffer width may be reduced up to 50%, provided there is not a request by the IDNR or USFWS to maintain the width due to the presence of threatened or endangered species. In all my years of consulting, they have never intervened in regard to a reduction in buffer width for a project I have reviewed. The 50% reduction applies to low quality and high-quality wetlands.

The next step is to consider the quality of the buffer, the quality of the wetland, the potential indirect impacts the development may cause, the "mitigation" that is proposed to address potential indirect impacts, the positive or negative impacts the project can have on the wetland and buffer area, the viability of the wetland and buffer after site development, etc.

The applicant is proposing to provide a 100-foot buffer around the bulk of the wetland except for a reduction near the proposed homes. Near the homes the buffer would be no less than 50 feet wide. In return for the reduction, they are actively completing restoration of the onsite wetlands and buffer.

Factors that Support a Buffer Width Reduction

The wetland was found to be high quality due to floristic diversity. The active wetland and buffer restoration project will likely result in a substantive increase in floristic diversity due to the removal of non-native and invasive species. The increased floristic quality will provide a number of benefits. Increased plant diversity, will translate into a substantive increase in wildlife diversity. All forms of wildlife will benefit. And as we have all heard pollinators (bees, etc.), in particular, are at risk, and the restoration project will significantly increase pollinator habitat. The restoration of this site would not occur without development of the property. In my opinion, the benefits of allowing a buffer width reduction outweighs the minimal indirect impacts the buffer width reduction has.

We must keep in mind the context of this location, this will be a low activity area, with minimal intrusion and disturbance. If this site were, on the other hand, the construction of a large commercial facility with many cars, trucks, and vehicles, with likely polluted stormwater runoff, with noise and lighting issues, as well as wind blown trash, etc., I would likely have required the 100-foot buffer for such an impactful use.

However, in this case, the use of this area will likely be less impacted than even a public park, because there will be fewer visitors and a lower risk for intrusion, and this project is actively restoring the wetland and buffer areas. The same cannot be said for most park areas.

From a strictly ecological standpoint, this project will result in improved wetland and buffer area that will support greater species diversity, as compared to its prior condition.

I don't typically take into consideration a neighbor's viewshed, or other planning, zoning, engineering concerns. Those are planner, engineering, plan commission, and Village Board concerns. My review focuses on what is best ecologically for the wetland and buffer areas.

My review also takes into consideration consistency with reviews I have completed for past projects, and reviews of other projects completed by peers for Lake County, Lake County SMC, and other consultants for other communities.

In my opinion, the allowance for a buffer width reduction for this project site is consistent with past reviews I have completed for Riverwoods, and my other clients, and is consistent with reviews completed by other agencies and consultants.



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450 DREXEL AVENUE
GLENCOE, ILLINOIS 60022

July 27, 2023

Mr. Russell Kraly
Village of Riverwoods
300 Portwine Rd.
Riverwoods, Illinois 60015

Re: 1400 Saunders Road
Green Building Technologies Subdivision

Dear Russ:

Our office is in receipt of the Final Subdivision Plat, prepared by Bleck Engineering, dated April 21, 2023.

We review the plat for conformance to certain legal requirements, including any easements required for public services, drainage and utilities, as well as protective covenants.

Legal review

1. Revise the owner's certificate to include the owner of record. Please furnish an owner's title policy or last recorded deed. The required scale for the plat is 1" = 100 feet.
2. Add a school district certificate to the signature page acknowledging the taxing districts in which the property is located.
3. Delineate a 17' foot easement labelled "public utility, drainage and municipal services" adjacent to the east property line, to line up with the easement granted by the property to the north.
4. The easement provisions in the legend of the plat are subject to further review and revision. In addition, new easement provisions shall include:

Emergency Access

The right of ingress and egress is hereby granted over, upon and through the land subdivided hereby for emergency vehicles of any and all types, for the Village of Riverwoods and other governmental authorities having jurisdiction.

Bike and Pedestrian Paths

An easement is hereby reserved to the Village of Riverwoods, its successors and assigns, to install, lay, construct, reconstruct, renew, operate and maintain bicycle and pedestrian paths over and upon the public utility, drainage and municipal services easement area.

Declaration of Covenants, Conditions Restrictions and Easements

All of the property included in the subdivision shall be held, transferred and conveyed subject to that certain Declaration of Covenants, Conditions Restrictions and Easements for Green Building Technologies Subdivision, as amended.

5. Provide a draft of the Declaration of Covenants, Conditions, Restrictions and Easements. A suggested template was previously provided to the applicant.
6. Section 10-4-1 of the Subdivision Control Ordinance requires a dedication of land or cash contribution in lieu thereof for all subdivisions of more than six acres. The land in the proposed subdivision is inappropriate for school site, park or other public use, so the formula for determining the cash contribution is applicable. The formula assumes a fair market value of the improved sites as being equal to \$200,000 per acre. The Village, with the assistance of state formulas, calculates the population from a development in the Village as generally 4.4 persons per house, and as the subdivision is creating two new lots, the total new population would be expected to be 8.8 persons. Planning standards in Illinois call for a ratio of one acre of parkland for every 150 of population. Based on this ratio (8.8/150), the site should contribute .059 acres for parkland, which translates into a cash contribution of \$11,800. This sum must be paid in connection with approval of the plat.
7. Section 10-4-3 of the Subdivision Control Ordinance deals with contributions to school districts. The applicable districts in which the subdivision is located have a formula to determine the estimated school age population and the required impact fee. Again, the fee would be calculated only for two new lots. The Village requires that the applicant furnish a letter from each district acknowledging the fees required relative to the contribution and requires that the school fees be paid in connection with approval of the plat.

The conditional recommendation of approval of the final plat to the Village Board should be based upon completion of the elements stated above and review by the Village Attorney.

Sincerely,



Bruce K. Huvad

COMMITTEE REPORTS

**Village of Riverwoods
Building Permits Issued
For Date From 08/01/23 to 08/31/23**

<u>Issued</u>	<u>Permit Number</u>	<u>Address</u>	<u>Type</u>	<u>Value</u>	<u>Permit Fee</u>	<u>Plan Review</u>	<u>Inspection</u>	<u>Other Fee</u>	<u>Total Fee</u>
8/1/2023	PB12382	1390 WOODLAND LN	Demolition Primary Structure	67,500.00					
8/2/2023	PB12383	4 BANE BERRY LN	Reroof	21,975.00					
8/2/2023	PB12408	975 WHIGAM RD	Reroof	39,793.63					
8/2/2023	PB12409	2440 DUFFY LANE	Reroof	36,166.00					
8/2/2023	PB12410	1726 CLENDENIN LN	Reroof	85,859.83					
8/2/2023	PB12412	8 JULIE LANE	Screen Porch	38,750.00					
8/3/2023	PB12411	2905 DUFFY LANE	Driveway	14,200.00					
8/3/2023	PB12414	2950 RIVERWOODS RD	Walkway	900					
8/3/2023	PB12415	1000 PORTWINE RD	Reroof	31,480.00					
8/4/2023	PB12416	443 CASTLE PINES LN	Reroof	218,989.00					
8/4/2023	PB12417	2376 MASTERS LN	Reroof	21,971.00					
8/4/2023	PB12418	2421 FOREST GLEN TRL	Reroof	33,200.00					
8/4/2023	PB12419	1320 KNOLLWOOD WAY	Driveway	4,240.00					
8/4/2023	PB12420	1345 WOODLAND LN	Reroof	49,285.00					
8/10/2023	PB12304	504 PEBBLE BEACH LN	Deck	18,000.00					
8/10/2023	PB12421	2324 GLEN EAGLES LN	Reroof	22,463.72					
8/10/2023	PB12422	2372 GLEN EAGLES LN	Reroof	27,377.49					
8/10/2023	PB12423	432 CASTLE PINES LN	Reroof	33,099.00					
8/11/2023	PB12424	7 JULIE LN	Reroof	61,090.87					
8/11/2023	PB12425	2364 GLEN EAGLES LANE	Reroof	28,016.55					
8/11/2023	PB12426	1340 WOODLAND LN	Reroof	22,810.00					
8/11/2023	PB12427	1497 EAST COURSE DRIVE	Reroof	42,000.00					
8/11/2023	PB12428	1111 PORTWINE ROAD	Reroof	120,000.00					
8/11/2023	PB12429	2270 CONGRESSIONAL LN	Reroof	25,260.00					
8/11/2023	PB12431	2800 HOFFMAN LANE	Reroof	42,000.00					
8/11/2023	PB12434	1051 SAUNDERS RD	Reroof	28,337.00					
8/14/2023	PB12430	2223 WOODLAND LN	Reroof	24,750.00					
8/14/2023	PB12433	1915 MAPLE PLACE	Driveway & Walkway	10,000.00					
8/14/2023	PB12438	1321 WOODLAND LN	Reroof	21,350.00					
8/14/2023	PB12439	2424 SEMINOLE COURT	Reroof	18,645.00					
8/15/2023	PB12440	1380 WOODLAND LN	Reroof	29,500.00					
8/16/2023	PB12441	655 THORNGATE LANE	Reroof	74,118.56					
8/16/2023	PB12442	1379 KENILWOOD LANE	Reroof	31,210.44					
8/16/2023	PB12443	2715 DAIQUIRI DR	Reroof	98,536.00					
8/17/2023	PB12432	446 SOMERSET HILLS CT	Reroof	152,946.30					
8/17/2023	PB12436	2351 WOODLAND LN	Reroof	23,400.00					
8/17/2023	PB12444	2260 CONGRESSIONAL LANE	Miscellaneous	16275					
8/17/2023	PB12445	1316 WOODLAND LN	Reroof	33,261.83					
8/17/2023	PB12448	1 JULIE LANE	Reroof	37,509.35					
8/18/2023	PB12447	1000 PORTWINE RD	Generator	8,046.62					
8/18/2023	PB12450	1029 OAKHURST LN	Reroof	82,225.00					
8/18/2023	PB23-0024	1359 BLACKHEATH LN	Garage Sale	0					
8/22/2023	PB12453	1104 OAKHURST LN	Reroof	70,000.00					
8/22/2023	PB12455	1 KINGSWOOD COURT	Reroof	39,000.00					
8/23/2023	PB12307	460 MUIRFIELD LN	Irrigation Sprinkler	6,250.00					
8/23/2023	PB12402	1805 TRILLIUM LANE	HVAC Replacement	5,857.00					

8/23/2023	PB12446	560 JUNE BERRY ROAD	Res - Windows/Doors	39,986.00
8/23/2023	PB12451	1155 WHIGAM ROAD	Driveway & Walkway	12,075.00
8/23/2023	PB12452	2055 N MILWAUKEE AVE	Wall Sign	8,600.00
8/23/2023	PB12457	7 BURR OAK TRL	Res Remodel	17,500.00
8/23/2023	PB12458	2321 LEGENDS CT	Reroof	32,000.00
8/23/2023	PB12460	2891 RIVERWOODS RD	Reroof	55,649.30
8/23/2023	PB12461	2730 EDGEWOOD LN	Reroof	54,538.98
8/23/2023	PB12462	665 MASTERS LN	Reroof	27,955.19
8/24/2023	PB12413	2251 CONGRESSIONAL LN	Reroof	35,000.00
8/24/2023	PB12456	1155 WHIGAM ROAD	Reroof	27,185.23
8/24/2023	PB12459	1700 ROBINWOOD LN	Reroof	48,000.00
8/24/2023	PB12463	1326 KNOLLWOOD WAY	Reroof	38,325.00
8/24/2023	PB12466	2700 CRESTWOOD LN	Reroof	16,000.00
8/24/2023	PB12467	2316 BRAE BURN DRIVE	Reroof	187,000.00
8/24/2023	PB12468	1 FOXTAIL CT	Reroof	48,000.00
8/24/2023	PB12469	2830 BLACKTHORN RD	Reroof	45,000.00
8/24/2023	PB12470	475 SOMERSET HILLS CT	Reroof	88,500.00
8/24/2023	PB12471	845 BLACKHAWK LN	Driveway	13,500.00
8/24/2023	PB12473	1400 WOODLAND LANE	Reroof	148,895.53
8/24/2023	PB12474	1781 SAUNDERS RD	Reroof	34,460.00
8/29/2023	PB12449	9 CHICORY LN	Reroof	40,950.00
8/29/2023	PB12472	2420 RIVERWOODS RD	Reroof	57,441.20
8/30/2023	PB12454	1127 MILWAUKEE AVE	Com Remodel	100,000.00
8/30/2023	PB12475	2314 GLEN EAGLES LANE	Reroof	18,100.00
8/30/2023	PB12476	885 HOFFMAN LN	Reroof	54,000.00
8/30/2023	PB12478	656 MASTERS LANE	Reroof	16,182.00
8/30/2023	PB12479	1792 CLENDENIN LN	Reroof	41,000.00
8/30/2023	PB12481	2323 GLEN EAGLES LN	Reroof	21,382.09
8/30/2023	PB12482	2050 CLENDENIN LANE	Reroof	52,963.10
8/30/2023	PB12483	1320 KNOLLWOOD WAY	Reroof	16,576.00
8/30/2023	PB12484	3 WOODLAND CT	Reroof	15,759.00
8/31/2023	PB12437	2001 MILWAUKEE AVE	Com Remodel	85,000.00
8/31/2023	PB12477	2639 FOREST GLEN TRL	Reroof	10,898.80
8/31/2023	PB12486	1300 WOODLAND LN	Reroof	43,895.00
8/31/2023	PB12487	430 MUIRFIELD LANE	Reroof	6,130.00
8/31/2023	PB12488	2486 W COURSE DR	Reroof	50,562.00
8/31/2023	PB12489	1365 KENILWOOD LN	Reroof	55,000.00
8/31/2023	PB12490	1385 KENILWOOD LN	Reroof	153,523.90
8/31/2023	PB12491	2343 GLEN EAGLES LANE	Reroof	27,998.90
8/31/2023	PB12492	700 BAY HILL COURT	Reroof	24,300.00
8/31/2023	PB12493	1336 KENILWOOD LN	Reroof	18,500.00
8/31/2023	PB12494	6 COLUMBINE LN	Reroof	108,542.15

Total Permits	88	\$3,914,519.56	\$15,465.00	\$11,279.00	\$14,880.00	\$0.00	\$41,624.00
Aug, 2022	27	\$602,230.00	\$11,360.73	\$5,074.00	\$0.00	\$0.00	\$16,434.73
YTD 2021	232	\$5,949,215.70	\$75,110.98	\$34,380.00	\$0.00	\$0.00	\$109,490.98
YTD 2022	187	\$10,779,477.80	\$134,695.35	\$94,455.00	\$0.00	\$0.00	\$229,150.35
YTD 2023	381	\$14,229,656.94	\$68,228.11	\$40,555.00	\$62,503.75	\$0.00	\$171,286.86
Inspections	114						

TECHNICAL MEMORANDUM VILLAGE-WIDE STORMWATER STUDY

August 31, 2023



Prepared for:

Village of Riverwoods
300 Portwine Road
Riverwoods, IL 60015



Prepared by:

Gewalt Hamilton Associates, Inc.
625 Forest Edge Drive
Vernon Hills, IL 60061



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List of Attachments

- 1) Stormwater Questionnaire
- 2) Symbolized Questionnaire Results Exhibit
- 3) Overall Study Area Exhibit
- 4) Bunker Court Flooding Pictures
- 5) Bunker Court Overall Exhibit
- 6) Bunker Court Storm Sewer Concept Exhibit

1. Introduction

The Village-Wide Stormwater Study (VWSS) was initiated by the Village of Riverwoods (Village) to address stormwater issues and flooding concerns throughout the Village. The primary objectives of the VWSS are to determine the key stormwater problems throughout the Village, to develop solutions to those problems, and to identify opportunities for funding. The analysis focuses on local roadway and property flooding as well as riverine floodplains.

To identify problem areas, the Village Staff were consulted and residents completed a stormwater survey. The reported local flooding problems varied in severity from swale maintenance to roadway and residential flooding. The questionnaire results were categorized into 5 categories:

1. No Concerns – the resident didn't have any stormwater problems.
2. Maintenance Concern – the resident is concerned with swale or culvert maintenance.
3. Individual Concern – the flooding problem only affects one property.
4. Multi-Resident Concern – the flooding problem affects multiple properties.
5. Beyond Scope – the flooding problem can't be resolved through the study.

To ensure that the proposed improvement projects would have the greatest impact for the Village residents, the local flooding study areas that were selected were the multi-resident concern areas. As a result, the VWSS determined ten (10) individual study areas for analysis.

2. Study Areas

2.1 Bunker Court

Bunker Court is in the overland flow path for a very large tributary area to the north of Deerfield Road. The storm sewer system that transports the stormwater from Deerfield Road to the Thorngate Subdivision pond is undersized and causes roadway flooding on Bunker Court, Thorngate Lane, and potentially also Deerfield Road. Coordination is ongoing with Christopher B. Burke Engineering, Ltd. (CBBEL) who is currently working on the Lake County Department of Transportation (LCDOT) Deerfield Road Improvement Plans. Due to the planned Deerfield Road improvements, Bunker Court has been identified as a high priority project. Applying for Lake County Stormwater Management Commission (LCSMC) grant funding for this project is recommended.

2.2 Portwine Road

A future multi-use path is being considered along Portwine Road which would require stormwater management as the roadway does not have a storm sewer system. Also, roadways tributary to Portwine Road require that Portwine Road implement a stormwater management solution so that those roadways (Meredith Drive and Gemini Lane) can connect to it. The proposed stormwater system includes storm sewers, swales, and culverts. Since this study area intersects with Deerfield Road, coordination is ongoing with CBBEL who is currently working on the Deerfield Road Improvement Plans.

2.3 Meredith Drive

Meredith Drive experiences reoccurring roadway and residential yard flooding due to an undersized storm sewer system. It is a cul-de-sac tributary to Portwine Road. The proposed stormwater management solution is a new storm sewer system along Meredith Drive connecting into a new storm sewer system along Portwine Road.

2.4 Gemini Lane

Gemini Lane experiences reoccurring roadway and residential yard flooding. There is no existing storm sewer system and the area is very flat. It is a cul-de-sac tributary to Portwine Road. The proposed stormwater management solution is a new storm sewer system along Gemini Lane connecting into a new storm sewer system along Portwine Road.

2.5 Clendenin Lane

Clendenin Lane experiences reoccurring roadway flooding due to a large tributary area from the west and undersized roadside culverts and swales. This flooding was reported to occur for all 'heavy rains.' The roadway flooding limits access to almost all homes on Clendenin Lane during large storm events, including access for emergency vehicles. The proposed stormwater management solution is a new storm sewer system along Clendenin Lane outfalling to the Ravinia Green Golf Course Pond.

2.6 West Course Drive & Julie Lane

West Course Drive experiences roadway and residential yard flooding. It is partially in the 100-year FEMA floodplain for the West Fork Chicago River. Although, the 100-year floodplain flooding can't be solved through the Village-wide Study, new storm sewer systems along West Course Drive can provide a 10-year storm solution.

Julie Lane has roadway flooding due to an undersized storm sewer system. The proposed stormwater management solution is a new storm sewer system along Julie Lane connecting into a new storm sewer system along West Course Drive.

2.7 Whigam Road

Whigam Road experiences reoccurring roadway and residential yard flooding. There is no existing storm sewer system. The existing roadside ditches and culverts are undersized. The proposed stormwater management solution is a new storm sewer system along Whigam Road connecting an existing drainage ditch to Thorngate Creek.

2.8 Thorngate Creek

Thorngate Creek begins at the outfall of the detention facilities constructed as part of the Thorngate Subdivision development. The creek then flows westerly and northwesterly through residential areas and Lake County Forest Preserve District (LCFPD) property to the Des Plaines River. Thorngate Creek flood elevations have risen over time due to side slope erosion, sediment deposition to the stream bottom, and increased rainfall. The stormwater analysis determined that upsizing culverts and regrading the creek would reduce riverine flooding. Yearly maintenance is also recommended throughout the length of the creek.

2.9 Chianti Creek

Chianti Creek starts at the detention facility outfall from the Discover campus. The creek then flows in a westerly direction through residential areas and LCFPD property to the Des Plaines River. Chianti Creek flood elevations have risen over time due to side slope erosion, sediment deposition to the stream bottom, and increased rainfall. The stormwater analysis determined that upsizing culverts and regrading the creek would reduce riverine flooding. Yearly maintenance is also recommended throughout the length of the creek.

2.10 Drainage Ditches

Two ditches were studied - the Scotch Lane, Juneberry Road, and Blackthorn Road Ditch (SJB Ditch) and the Thornmeadow Road and Orange Brace Road Ditch (TOB Ditch). Both ditches run along the roadsides and then outfall to the Des Plaines River. The analysis determined that the drainage ditches don't have significant flooding problems. Therefore, only limited work is proposed - clearing the ditches of trees and downed branches and clean the culverts.

3. Bunker Court Study Area in Detail

Bunker Court is located within the Thorngate Subdivision on the east side of the Village and runs 200 feet in a north-south direction. The roadway starts at Thorngate Lane in the south and ends in a cul-de-sac in the north. 4 single-family homes are located on Bunker Court. The roadway is private with no Village right-of-way.

3.1 Bunker Court Existing Conditions

Stormwater flows from a 91-acre residential area north of Deerfield Road through storm sewer pipes and drainage ditches to Deerfield Road. This stormwater combines with Deerfield Road stormwater runoff and then passes under Deerfield Road via multiple culverts. Stormwater is then conveyed through a storm sewer system under Bunker Court to the Thorngate Subdivision Pond.

Deerfield Road is currently in a design stage for roadway improvements by LCDOT. As part of these improvements, the existing culverts under Deerfield Road will be removed and replaced with a storm sewer system to convey the stormwater under the road, but the improvements do not include upsizing the downstream storm sewer system under Bunker Court to the Thorngate Subdivision pond. The storm sewers are being designed primarily for the 10-year event while checking the 50/100-year events to ensure the sewers are not surcharged.

Resident survey responses mentioned roadway flooding along Bunker Court from Deerfield Road through Thorngate Lane. A video of flooding was provided in February on a day that CoCoRaHS (or the Community Collaborative Rain, Hail and Snow Network) only recorded 0.27" of rain, though snow melt likely also contributed. The roadway flooding limits access to all homes on Bunker Court, traffic on Thorngate Lane, and potentially also traffic on Deerfield Road during large storm events, including access for emergency vehicles. Resident photos of the flooding are attached with this memorandum.

A total of 109 acres flows to the Bunker Court storm sewer with the vast majority of the flow coming from north of Deerfield Road. A simple flow calculation ($Q=CIA$ with c assumed as 0.45 for 1-acre residential and a calculated T_c of 55 minutes) yields a peak flowrate of 130 cfs for the 10-year storm and 216 cfs for the 100-year storm to the Bunker Court storm sewer. The existing 42" diameter storm sewer pipes that convey stormwater from Deerfield Road to the Thorngate Subdivision pond have a flow capacity of approximately 118 cfs without surcharging, which is less than 10-year capacity.

Due to the insufficient capacity of the existing storm sewer system to prevent reoccurring roadway flooding, stormwater management improvements for Bunker Court are recommended.

3.2 Bunker Court Proposed Conditions

Since the future LCDOT storm sewer will be designed so that the 100-year storm event does not surcharge the storm sewer system, the Bunker Court storm sewer system should be upsized for the same design standard in order to prevent roadway flooding. A StormCAD model was created to design an upsized sewer system for the study area.

The model showed that upsizing the existing 42" diameter RCP storm sewer to a 48" diameter RCP storm sewer would allow for the Bunker Court storm sewer to handle the 10-year storm event without surcharging. To have capacity for the 100-year storm event without surcharging, the Bunker Court storm sewer would need to be upsized to 60" diameter RCP. Overall and detailed exhibits showing the Bunker Court stormwater improvements are attached with this memorandum.

Due to the planned Deerfield Road improvements, Bunker Court has been identified as a high priority project. Applying for LCSMC Watershed Management Board (WMB) grant funding for this project is recommended.

4. Maintenance

Concerns regarding culvert and swale maintenance were common among the resident questionnaire responses. These responses were not clustered but instead were located throughout the entire Village. This indicates that this is an important issue to the residents and that improved maintenance would improve the quality of life in the Village.

The Village currently performs maintenance per the MS4 program. The maintenance completed per the MS4 program includes streambank, catch basin, detention basin, outfall, and waterway inspections as well as rodding/cleaning driveway culverts and street sweeping. We recommend the Village perform various additional stormwater maintenance beyond that which is included in the MS4 program.

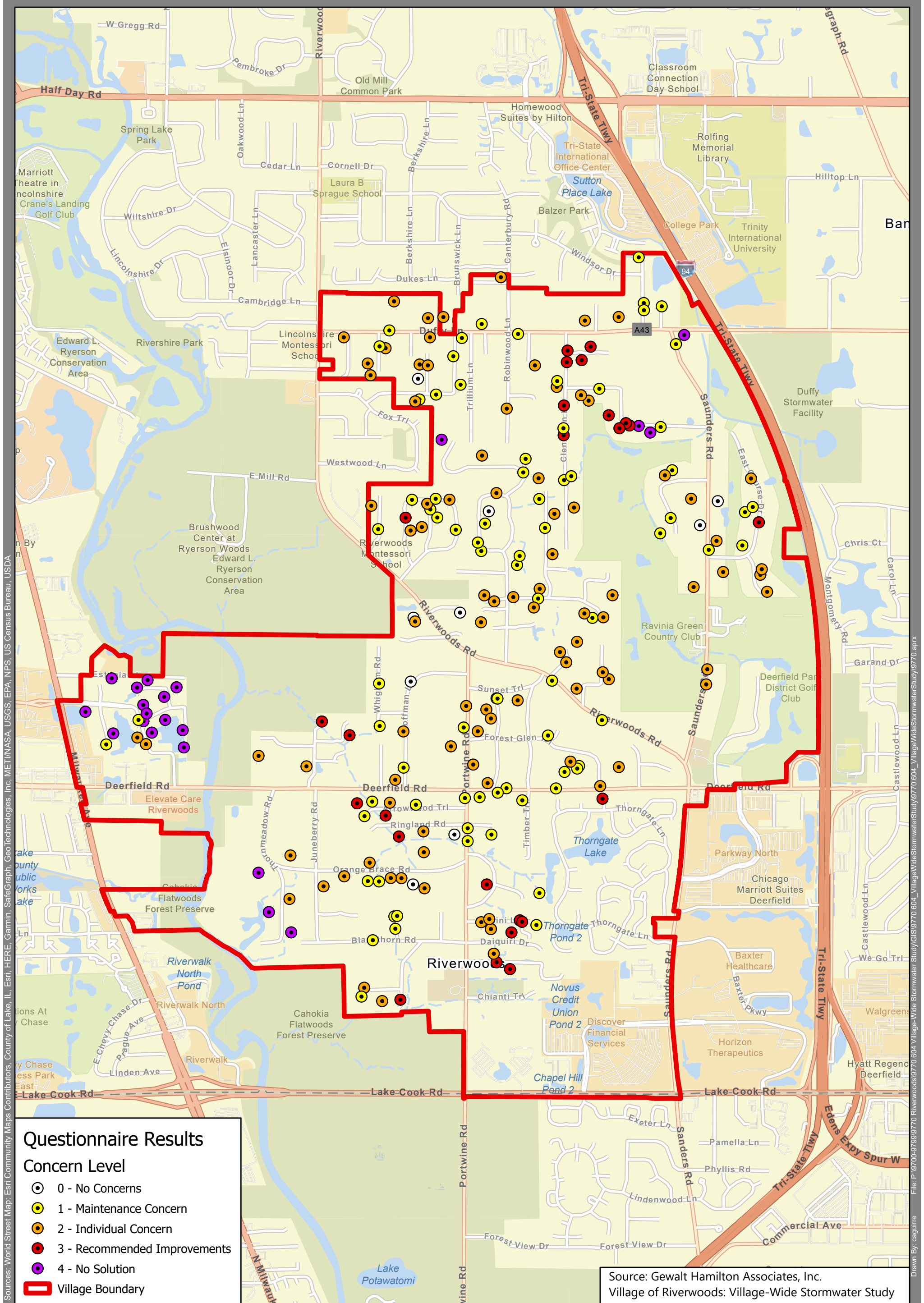
5. Financing of Improvement Projects

The Village can use both internal and external funding sources to finance the improvement projects. The Village has various internal funding options that could all be utilized for stormwater improvement projects: budget allocation, municipal bonds, a Special Service Area (SSA), or a stormwater utility fee. External funding can be obtained from grants from local, state, or federal agencies. Potentially applicable grants are available from the following agencies: Lake County Stormwater Management Commission (LCSMC), Illinois Environmental Protection Agency (IEPA), Illinois Department of Transportation (IDOT), and the Federal Emergency Management Agency (FEMA). The specific grants that we recommend are the LCSMC Watershed Management Board (WMB), LCSMC Stormwater Infrastructure Repair Fund (SIRF), and the LCSMC Illinois Department of Commerce & Economic Opportunity (DCEO) Stormwater Capital Improvement Program (STOCIP) grants.

The LCSMC WMB grant funds drainage improvements and flood reduction projects. Notably WMB grant funding can be used for studies, project design, or project construction. The application deadline is Friday, September 8, 2023 @ 2:00pm. The applicant cost share is a minimum of 50%.

The LCSMC SIRF grant is available to help fund drainage and flooding issues. Projects must be capital improvements, address stormwater problems, and offer a clear work plan. The application can be submitted at any time throughout the year. The applicant cost share is a minimum of 50%.

The LCSMC DCEO-STOCIP serves the purpose of identifying and providing partial financial support to projects aimed at resolving drainage and flood issues. Projects are expected to benefit multiple jurisdictions, address tributary area problems greater than 100 acres, and have beneficial results for at least the 10-year storm level. Projects must be capital improvements. In 2024 there will be additional opportunities to submit projects for funding consideration.



Questionnaire Results

Concern Level

- 0 - No Concerns
- 1 - Maintenance Concern
- 2 - Individual Concern
- 3 - Recommended Improvements
- 4 - No Solution
- ▭ Village Boundary

Source: Gewalt Hamilton Associates, Inc.
 Village of Riverwoods: Village-Wide Stormwater Study



Symbolized Questionnaire Results

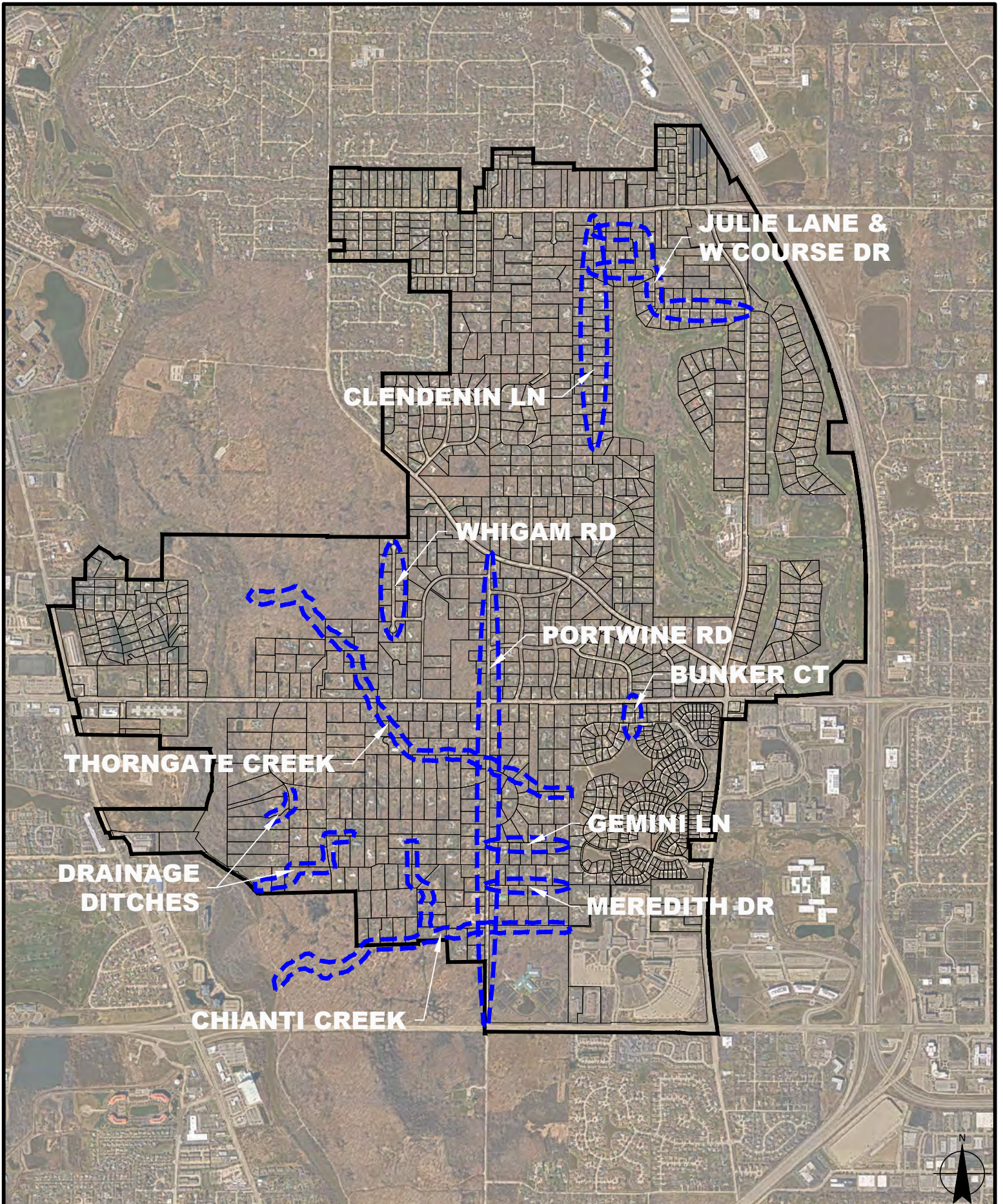
Village of Riverwoods, Illinois

1 inch = 1,500 Feet



Sources: World Street Map, Esri Community Maps Contributors, County of Lake, IL, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

File: P:\9700-9799\9770 Riverwoods\9770.604 Village-Wide Stormwater Study\GIS\9770.604_VillageWideStormwaterStudy9770.aprx

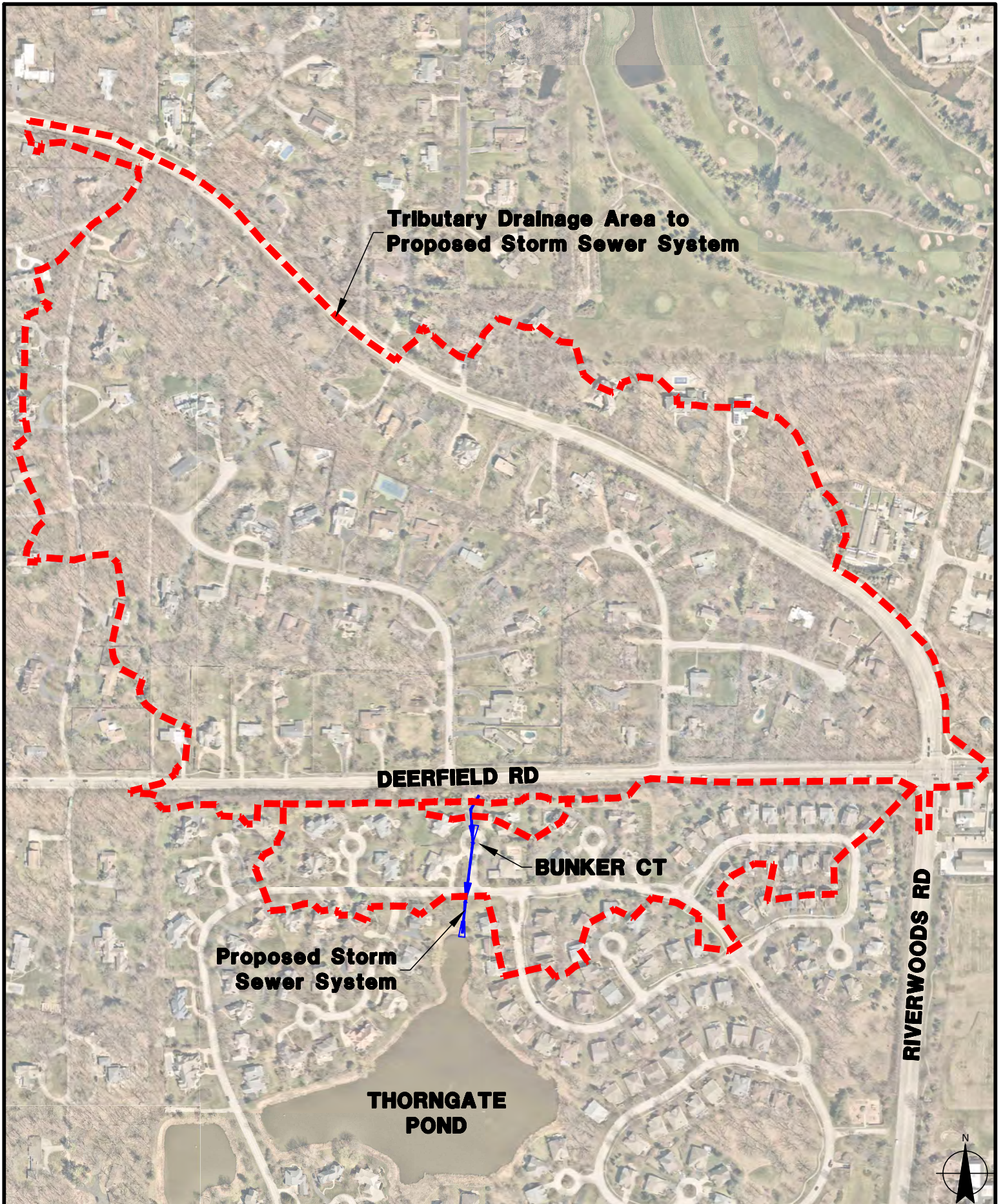


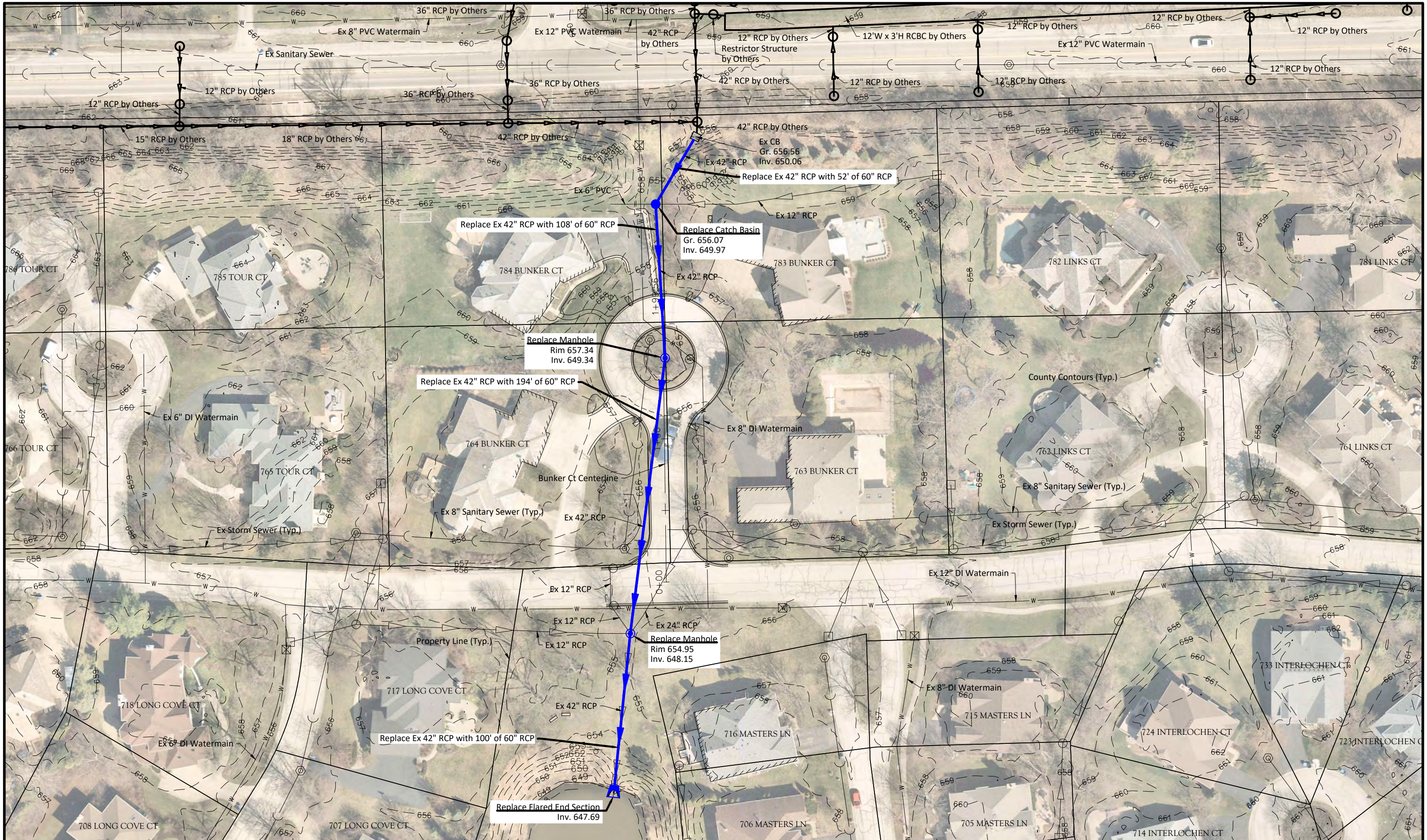


Flooding from Deerfield Rd to Bunker Ct



Bunker Ct & Thorngate Ln Flooding





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